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January 31, 2018

Julianne Polanco, State Historic Preservation Officer  
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Office of Historic Preservation  
1725 23rd Street, Suite 100  
Sacramento, CA 95816

John Fowler, Executive Director  
Attention: Najah Duvall  
Office of Federal Agency Programs  
Advisory Council on Historic Preservation  
401 F Street NW, Suite 308  
Washington, DC 20001

Stanley J. Austin, Regional Director  
Attention: Elaine Jackson-Retondo  
National Park Service – Pacific West Regional Office  
333 Bush Street  
San Francisco, CA 94104

Laura Joss, General Superintendent  
Attention: Elaine Jackson-Retondo  
Golden Gate National Recreation Area  
Building 201 Fort Mason  
San Francisco, CA 94123

**Reference: 2017 Annual Report on Activities under the 2014 Presidio Trust Programmatic Agreement, the Presidio of San Francisco National Historic Landmark District, San Francisco, California**

Pursuant to Stipulation XIV of the Presidio Trust Programmatic Agreement (PTPA, 2014), enclosed is the 2017 Annual Report of activities conducted under that Programmatic Agreement.

In late 2017 the Presidio William Penn Mott Jr. Visitor Center, a joint effort of the Trust, the National Park Service and the Golden Gate National Parks Conservancy (GGNPC) welcomed its 100,000<sup>th</sup> guest after opening its doors just one year ago. This figure marks a milestone in the tri-agency partnership's efforts over the years to rehabilitate the Presidio's historic resources, present the Presidio's unique stories, and welcome the public to the National Historic Landmark District and National Park site. The award-winning project, housed in the post's 118 year-old guardhouse, will constitute the front door of the Tunnel Tops site, and a major conduit between Crissy Field

and the historic heart of the Presidio: the Main Post. In recognition of the Visitor Center's successes, the Presidio Trust, the Golden Gate National Recreation Area (NPS) and the GGNPC received the National Park Service Director's Partnership Award. This award recognized the three agencies' collaborative efforts, which have long been one of the key elements of successfully operating the Presidio.

The enclosed report documents all compliance decisions, including Appendix A, administrative and full reviews for the calendar year 2017. Between January and December 2017, 52 projects were reviewed by Trust preservation professionals through Stipulation IV of the PA (commonly referred to as the "N<sup>2</sup>" process). Of these, 46 were reviewed at the administrative level and 6 at the full level of review. Undertakings reviewed included the rehabilitation of the remaining vacant buildings in the Gorgas Avenue warehouse cluster, re-establishing the historic Greenwich Gate, and revitalizing a key historic forest stand on Park Avenue. As in years past, the Trust reviewed a substantial number of "repetitive or low impact activities" through Appendix A of the PA. Appendix A includes actions such as cleaning, painting and cyclic repairs to buildings, replacement in-kind of deteriorated roofs, road and parking lot maintenance, abatement of hazardous materials, and other such low impact activities.

Staffing: The N<sup>2</sup> team that participates in the agency's project review process is currently comprised of six preservation professionals that meet the Secretary of Interior's standards for Archaeology, Historic Architecture, and Architectural History. The group of historic preservation staff regularly involved in full N<sup>2</sup> reviews in 2017 is composed of historical architect Rob Wallace; historical landscape architect Michael Lamb; archaeologists Eric Blind, Kari Jones, and Liz Clevenger, (who are supported by staff archaeologists Claire Yancey and Edward DeHaro); and Federal Preservation Officer Rob Thomson. Staff historian Barbara Sokolov (Berglund) also regularly contributes to preservation-related reviews. The historic compliance staff continues to collaborate closely with the Trust's operations and maintenance crews, who work with the NHL's buildings, landscapes, roads and forests on a daily basis. These crews are composed of journeymen carpenters, masons, electricians, plumbers, gardeners and foresters, many of whom have been trained in preservation maintenance practice, and/or have years of experience working with historic resources at the Presidio.

In 2017, two members of the Trust's preservation team departed the agency: Senior Preservation Project Manager and Conservator Christina Wallace left in July to work as Deputy Director for Park Projects & Design with the Golden Gate National Parks Conservancy. In January, Historic Preservation Specialist Michelle Taylor departed the Trust to join the City of San Francisco's Planning Department Preservation Team. We wish both of these valuable team members the best of luck as they embark on their new positions. The Trust is evaluating staffing in the Compliance and Planning departments to ensure that our expertise in applicable preservation-related disciplines is appropriate for our ongoing needs and future projects pipeline.

Work continued on the Doyle Drive/Presidio Parkway project throughout 2017, including the long-awaited completion of Building 201's rehabilitation (Warehouse, 1896), progress on restoring historic Halleck Street over the Main Post tunnels, and soil placement to re-create the Main Post Bluff and cover the tunnels at Battery Bluff. Remaining work to be performed includes final landscape design and construction, and completion of several remaining mitigation measures

carried by the Doyle Drive project. The Trust continues its strong working relationship with Caltrans, National Park Service and San Francisco County Transportation Authority cultural resource staff to ensure that the NHLD is well-protected and the commitments under the Doyle Drive PA are satisfied.

Cyclic and preservation maintenance activities in 2017 included a continuation of the agency's preservation maintenance program for unoccupied historic buildings, along with work performed on the historic Upper Simonds Loop, East Washington, Portola Street and Presidio Boulevard residential neighborhoods. In 2017, Trust crews completed stabilization work for Building 1390 (Sunday School, 1941), an approximately 1,000 sq/ft auxiliary building to the Fort Scott Chapel that was nearing collapse. With a new roof, partial new foundation, shoring and repair of the building's unusual single wall-construction envelope, the modest historic building will be well-positioned to support the adjacent Chapel once each are fully rehabilitated. A three year, \$3M program focused on roof and exterior envelope repairs in the Thornburgh area of the Old Letterman Hospital complex (built 1899-1938), concluded in 2017 with the mothballing of nine historic buildings (1040, 1047, 1050, 1051, 1056, 1059, 1060, 1062, 1063). In 2013 compliance staff completed a park-wide survey of unoccupied historic buildings, ranking each as "high", "medium", or "low" priority due to their condition, location and potential for future investment. Preservation maintenance and leasing efforts over the past four years have reduced the number of "high" priority buildings by 43% (from 37 to 21), marking significant progress in the Trust's efforts to protect and steward the totality of its historic resources.

Construction on building 105 (Montgomery Street Barracks, 1895), which the Trust will adaptively reuse as a 42-room hotel, proceeded throughout the year and will culminate with the opening of The Lodge at the Presidio in the spring of 2018. In September the Presidio Trust, in partnership with the Margaret E. Haas Fund (project sponsor), hosted a groundbreaking ceremony for the \$30M rehabilitation of the Presidio Theatre (built 1939). Since then, the construction team completed hazardous materials abatement, performed selective demolition along with site work preparation, and began replacing and upgrading all utility systems for the tax-credit project. The Theatre is scheduled to open by the fall of 2019, revitalizing a long-dormant corner of the Main Post and creating a key facility for welcoming the public to the Presidio. On Gorgas Avenue in the Letterman Hospital district, the Trust finalized plans for rehabilitating the remaining four historic structures (Warehouses, 1919 and Administration Building, 1940) in the nine building cluster of warehouses and recreation facilities south of the new Presidio Parkway on-ramps.

Landscape rehabilitation and habitat restoration completed or initiated in 2017 included improvements to the Presidio's trails and bikeways, reductions in areas of irrigated lawn and ongoing efforts to maintain and revitalize the historic forest. On the Presidio's eastern boundary, the Trust advanced long-envisioned plans to re-open the Lyon Street wall at the historic Greenwich Gate to create a new pedestrian and bicycle entrance located at the former streetcar right of way (in operation from 1892-1950). The project will complete a key portion of the Presidio Promenade, a 2.1 mile multi-use trail that begins at Lyon Street and ends at the Golden Gate Bridge, as envisioned by the *Presidio Trails and Bikeways Master Plan* (2003). Further west along the Promenade, the Trust has completed the rehabilitation of a landscaped area along Lincoln Boulevard between Presidio Boulevard and Funston Avenue, including shrub and groundcover replacement, new irrigation, and lighting along with new plantings that will help reduce the Trust's

water consumption. Forestry crews completed 1.4 acres of historic forest rehab in the Park Stand and along Thomas Avenue (Infantry Terrace), replacing declining and hazardous trees with Monterey cypress, Coast Redwood and other compatible species to control erosion, protect Trust assets and tenants, and improve the health of the Presidio's 300 acre forest. The Trust concluded the multi-year ecological restoration of the MacArthur Meadow area, installing interpretive waysides that share the complex natural and military histories of this unique area of the park. University High School completed Paul Goode Field in 2017, re-opening the expanded and improved, publicly-accessible playing fields in August after three years of construction.

Trust archaeology staff in 2017 monitored Trust operations and utility work, conducted elective archaeological research, and provided ongoing care and maintenance of previously excavated collections. Staff produced no Archaeological Management Assessments (AMA) or Archaeological Monitoring Plans (AMP) in 2017, but completed one Archaeological Identification Plan (AIP) for the Building 105 rehabilitation project and associated Native American Graves Protection and Repatriation Act (NAGPRA) process. Trust archaeology staff monitored nine projects throughout the park over the calendar year, including utility upgrades in the Public Health Service District, Main Post and Crissy Field, and Mountain Lake. In February 2017, Trust archaeology staff observed *in situ* human remains during monitoring of the Building 105 rehabilitation project. Due to historic documentation that indicated the presence of a nineteenth century cemetery in the area, Trust archaeology and compliance staff prepared a NAGPRA Plan of Action (POA) and conducted outreach to interested parties. In the process of executing the POA, no further remains were encountered and the rehabilitation project was successfully redesigned to avoid disturbing any additional burials. Archaeological research in 2017 continued to focus on the Pershing Square portion of *El Presidio de San Francisco*, the Spanish-colonial archaeological site in the Presidio's Main Post. Excavation was concentrated in an area where the US Army repurposed Spanish and Mexican adobe structures until their eventual demolition in 1906. Investigations were conducted by Trust archaeology staff, a team of interns who received on-the-job training as part of the project, and volunteers who assisted in field and laboratory processing. A full report of the research project is underway and will be completed in early 2018. The Heritage Program Education Team served a total of 1,681 San Francisco Bay Area students in archaeologically-focused programs, and volunteers welcomed more than 500 people into the Presidio Archaeology Lab for various public-facing programs over the course of the year.

Professional development highlights included continued partnerships with preservation education organizations, another summer internship, and contributions by Trust staff to educational programs in the Bay Area and beyond. In September, the National Preservation Institute collaborated with the Trust to deliver an agency-sponsored class on *NAGPRA and ARPA: Applications and Requirements*. A recent graduate from Cornell University's historic preservation master's degree program joined the Trust historic compliance staff for a summer internship, generating research that will guide the management of the Presidio's historic Water Treatment Plant (built 1910) and our ongoing preservation maintenance program. Over the course of the year Rob Thomson, Rob Wallace, Michelle Taylor, Christina Wallace, Kari Jones and Michael Lamb all contributed to



graduate and/or professional-level educational programs that shared successful management practices of the Presidio's historic resources to local and national audiences.

The Presidio Trust wishes to thank our program partners for the time and effort lent during 2017 to bring the multi-year consultation on the Tunnel Tops project to a successful conclusion. We look forward to working through the remaining elements of the design in 2018, and welcoming you to the completed project when it opens in 2021. If you have any questions about this report or our program, please contact me at (415) 561-2758 or [rthomson@presidiotrust.gov](mailto:rthomson@presidiotrust.gov). A copy of this annual report has been placed in the Presidio Trust Library and on our website and is available for interested persons and members of the public who wish to provide comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Thomson". The signature is fluid and cursive, with the first name "Rob" and last name "Thomson" clearly distinguishable.

Rob Thomson  
Federal Preservation Officer, Presidio Trust

**PROGRAMMATIC AGREEMENT  
AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
AND  
VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
FOR AREA B OF  
RESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,  
GOLDEN GATE NATIONAL RECREATION AREA  
SAN FRANCISCO, CALIFORNIA**

**WHEREAS**, the Presidio Trust (the Trust), pursuant to the Presidio Trust Act, Title I of Public Law 104-333, was established as a wholly owned government corporation to manage a portion of the Presidio of San Francisco (Presidio); and

**WHEREAS**, pursuant to Public Law 104-333, administrative jurisdiction was transferred to the Trust on July 1, 1998 for approximately 80% of the Presidio that was depicted as Area B on the map entitled “Presidio Trust Number 1,” dated December 7, 1995, (see Appendix C) which may be amended from time to time, and which serves as the area of potential effect (APE) for this undertaking; and

**WHEREAS**, the entire Presidio is within the Golden Gate National Recreation Area (GGNRA) and is a designated National Historic Landmark District (NHLD) representing 218 years of military history, is listed on the National Register of Historic Places (NRHP), and contains individually eligible NRHP historic properties that are both prehistoric and historic; and

**WHEREAS**, the Trust, in order to uphold its Congressionally mandated requirement of preserving Area B of the Presidio as part of GGNRA and of financial self-sufficiency, carries out a variety of undertakings subject to review under Section 106 of the National Historic Preservation Act (NHPA), 16 U.S.C. § 470f, and its implementing regulations, 36 C.F.R. Part 800, including but not limited to maintenance, rehabilitation, repair, moving, interim and long-term leasing, construction and demolition of buildings, structures, and roads, and work regarding grounds and associated landscaping as proposed under the Presidio Trust Management Plan (PTMP, 2002 with updates), or proposed under the direct or indirect jurisdiction of the Trust including undertakings proposed by the Trust's permittees, federal or non-federal tenants, or other parties; and

**WHEREAS**, the Trust has determined that these undertakings may have an effect upon historic properties listed in or eligible for listing in the NRHP, including properties that contribute to the NHL, and has consulted with the Advisory Council on Historic Preservation (ACHP) and California State Historic Preservation Officer (SHPO) pursuant to 36 C.F.R. Part 800; and

**WHEREAS**, the Trust has notified the Secretary of the Interior (SOI) in accordance with 36 C.F.R. § 800.10(c), and the National Park Service’s (NPS) Pacific West Regional Office and the GGNRA are representing the SOI, and have been invited to sign this Programmatic Agreement (PA) as an invited signatory, and that both the Pacific West Regional Office and GGNRA will receive information and participate in consultations, and that the Pacific West Regional Office will be the signatory authority for NPS; and

**WHEREAS**, the Trust has identified and notified parties as consulting parties (Appendix G); and

51 **WHEREAS**, the Trust has invited the National Trust for Historic Preservation (NTHP) and the Presidio  
52 Historical Association (PHA) to sign this PA as concurring parties; and

53  
54 **WHEREAS**, in July and November 2013 the Trust notified the public through its regular “eNews”  
55 electronic mail distribution list of the consultation for the development of this PA, and afforded them the  
56 opportunity to comment; and

57  
58 **WHEREAS**, the Trust has made a good faith effort to locate federally recognized Indian tribes that may  
59 attach religious and cultural significance to properties under the administrative jurisdiction of the Trust or  
60 with which the Trust could consult under the Native American Graves Protection and Repatriation Act  
61 (NAGPRA); and the Trust has determined that there are no such federally recognized tribes; and

62  
63 **WHEREAS**, in accordance with 36 C.F.R. § 800.6(a)(1), the Trust has notified the Advisory Council on  
64 Historic Preservation (ACHP) of its effect determination providing the specified documentation, and the  
65 ACHP has chosen to participate in the consultation pursuant to 36 C.F.R. § 800.6(a)(1)(iii) (the Trust,  
66 SHPO, and the ACHP are each a “Signatory,” and the NPS is an “Invited Signatory” to the PA and,  
67 hereafter are “Signatories”); and

68  
69 **WHEREAS**, the remaining area of the Presidio depicted as Area A on “Presidio Trust Number 1,” dated  
70 December 7, 1995,(see Appendix C) remains under the administrative jurisdiction of the NPS and is not  
71 subject to this PA; and

72  
73 **WHEREAS**, the San Francisco National Cemetery remains under the administrative jurisdiction of the  
74 United States Department of Veterans Affairs and is not subject to this PA; and

75  
76 **WHEREAS**, the undertakings contemplated under the Main Post Update (MPU), adopted by the Trust in  
77 2011, are not subject to this PA, but are within the scope of the *Programmatic Agreement Among the*  
78 *Presidio Trust, the California State Historic Preservation Officer, the National Park Service, and the*  
79 *Advisory Council on Historic Preservation for the Main Post Update to the Presidio Trust Management*  
80 *Plan, Presidio of San Francisco National Historic Landmark, San Francisco, California (PA-MPU,*  
81 *2011); and*

82  
83 **WHEREAS**, the undertakings contemplated under the *Programmatic Agreement Among the Presidio*  
84 *Trust, the Advisory Council on Historic Preservation, the National Park Service and the California State*  
85 *Historic Preservation Officer Regarding Deconstruction, New Construction, and the Execution of*  
86 *Associated Leases at the Letterman Complex, Presidio of San Francisco, California (LDA PA, 2000)*  
87 have been completed and according to Stipulation XIII of the LDA PA the signatory parties have agreed  
88 to terminate the PA; and

89  
90 **WHEREAS**, the PTMP is a comprehensive programmatic plan developed by the Trust to guide the  
91 management of Area B and is a programmatic document that presents a range of preferred land uses,  
92 Planning Principles (Principles), and Planning District Guidelines (PDG) for identified planning districts  
93 within Area B of the Presidio; the Principles and PDG are intended as a policy framework to guide the  
94 Trust’s future activities as well as further project-specific and/or district-level planning prior to building  
95 demolition or new construction with the potential to adversely affect historic properties; and

96  
97 **WHEREAS**, the Trust, SHPO, NPS, and the ACHP consulted on the PTMP, including its Principles and  
98 PDG, and executed an agreement document in 2002, which the NTHP and PHA signed as concurring  
99 parties, that expires on April 30, 2014, or upon execution of this PA; and

**WHEREAS**, the Trust will employ the 2013 Council for Environmental Quality (CEQ) and ACHP guidance for coordinating its agency procedures and mechanisms (including mechanisms under the National Environmental Policy Act (NEPA)) to fulfill their consultation requirements as found in the "NEPA and NHPA: Handbook for Integrating NEPA and Section 106 Reviews" (CEQ/ACHP Guidance); and

**WHEREAS**, the Trust and NPS have conducted numerous surveys and evaluations to identify NRHP-eligible and NHL-D-contributing properties for the entire Presidio NHL-D, including archaeological surveys, and regardless of administrative jurisdiction; the most complete survey to date is the 1993 NHL-D update; the Trust is currently determining if there are additional properties in Area B not previously listed or determined eligible for listing on the NR or as contributors to the NHL-D via the 2008 NHL-D update, which considers eligibility of post-1945 resources, but does not re-evaluate resources listed in the 1993 NHL-D update; and

**WHEREAS**, the Trust has secured a commitment from the Federal Highways Administration (FHWA) through the *Programmatic Agreement among the Federal Highway Administration, the California Department of Transportation, the San Francisco County Transportation Authority, the Presidio Trust, the National Park Service, the Department of Veterans Affairs, the California State Historic Preservation Officer, the Advisory Council on Historic Preservation, and the San Francisco County Recreation and Parks Department for the South Access to the Golden Gate Bridge, Doyle Drive Replacement Project, San Francisco, California* (Doyle Drive PA, 2008) to comprehensively update the NHL-D forms again at the conclusion of the Doyle Drive/Presidio Parkway construction project (estimated 2016); and

**WHEREAS**, the Trust shall strive to manage and preserve the integrity of that portion of the NHL-D in Area B through planning, research, and specific undertakings consistent with good historic preservation management and stewardship, the goals of the NHPA and related regulations, standards, and guidelines; these efforts are with the objective of remaining in compliance with the applicable provisions of the NHPA and the Presidio Trust Act; and

**WHEREAS**, the Trust as the federal agency with administrative jurisdiction for Area B is the responsible agent for design consistency, conformance with building codes, life/safety and accessibility standards, conformance with sustainability guidelines and goals, and integration and operation of infrastructure systems such as electricity, water, and sewer and has developed a Tenant Handbook and other such descriptive materials to guide this responsibility; and

**WHEREAS**, the Trust has consulted with the SHPO, NPS and the ACHP regarding ways to ensure that the Trust's operation, management, and administration of the NHL-D provides for management of the Presidio's historic properties in accordance with the relevant sections of the NHPA; and

**NOW, THEREFORE**, the Trust, NPS, SHPO, and ACHP agree that the undertakings shall be implemented in accordance with the following stipulations in order to take into account the effect of the undertaking on historic properties.

143 **STIPULATIONS**

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145  
146 The Trust shall ensure that the following measures are carried out:

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148 **I. ROLES AND RESPONSIBILITIES**

149  
150 A. The Trust

151  
152 1. The Trust's Executive Director shall be the designated Federal Preservation  
153 Officer (FPO) and shall be responsible for funding the agency's preservation program  
154 and assigning qualified staff and other resources to carry out identification and  
155 management responsibilities effectively. The FPO will have sufficient authority and  
156 control over internal processes to ensure that decisions made pursuant to this PA are  
157 carried out.

158  
159 2. The FPO shall designate a Deputy Federal Preservation Officer (DFPO) who  
160 shall be responsible for coordination of the preservation program and implementation of  
161 the terms of this PA. The DFPO shall meet the requirements for a Preservation Officer as  
162 defined in "The Secretary of the Interior's Standards and Guidelines for Federal Agency  
163 Historic Preservation Programs Pursuant to the National Historic Preservation Act," have  
164 five years or more experience in historic preservation and meet the professional  
165 qualifications for Archaeologist, Historian, Architectural Historian or Historic Architect  
166 included in "The Secretary of the Interior's Historic Preservation Professional  
167 Qualification Standards." The DFPO shall coordinate with the NEPA Compliance  
168 Manager and N<sup>2</sup> Compliance Coordinator in carrying out the provisions of Stipulations  
169 IV and V.

170  
171 3. All work pursuant to this PA regarding historic properties will be performed by,  
172 reviewed by, or under the supervision of, a person or persons having five years or more  
173 experience in historic preservation and meeting the professional qualifications for  
174 Archaeologist, Historian, Architectural Historian, or Historic Architect included in "The  
175 Secretary of the Interior's Historic Preservation Professional Qualification Standards."

176  
177 4. The Trust shall ensure that the agency's operation, management, and  
178 administration of the Presidio's historic properties are carried out in accordance with  
179 Section 112 of the NHPA.

180  
181 B. SHPO, NPS, and the ACHP

182  
183 1. The SHPO and the NPS will review and comment on undertakings in accordance  
184 with Stipulations IV, V, VI, VII and VIII may raise and resolve objections according to  
185 Stipulation IX, and may amend or terminate this agreement according to Stipulations X  
186 and XI.

187  
188 2. The ACHP may raise and resolve objections according to Stipulations IV and IX  
189 and may amend or terminate this agreement according to Stipulations X and XI.

190  
191 C. Concurring Parties

1. Concurring parties may review and comment on undertakings pursuant to Stipulation IV, VI, and VII and may raise objections according to Stipulation IX.

D. The Public

1. The public may participate in public comment periods and review undertakings according to Stipulation IV, and review and comment on the Trust's annual report in accordance with Stipulation XIV.

## II. CONTINUING EDUCATION

A. The Trust shall provide ongoing and appropriate training to Trust personnel involved in the maintenance, repair, and rehabilitation of historic buildings, structures and housing units, and for all personnel responsible for making decisions regarding maintenance, repair, and rehabilitation at the Presidio.

B. The Trust shall regularly organize, facilitate, or partner with outside organizations to provide specialized crafts training programs in practical application of "The Secretary of the Interior's Standards for the Treatment of Historic Properties" (Secretary's Standards) and other subject matter related to management of the NHLD to applicable Trust staff.

C. The Trust shall provide training in conservation practices as applied to historic structures and archaeological sites to Trust personnel for work at the Presidio.

D. The Trust shall develop and implement an in-house training program to advise Trust personnel of this PA and procedures, techniques, and related matters regarding the preservation of the historic properties located within Area B within six months of execution of this PA. The training will be repeated every other year thereafter.

E. The Trust shall provide guidance and available research materials, reports, NRHP forms, condition assessments, the Tenant Handbook, design standards, and all such materials in its possession that will assist tenants or other parties in designing projects that may affect historic properties at the Presidio, including the following:

1. Provide guidance in Presidio design and construction standards as indicated in the Tenant Handbook and other verbal and written guidance materials.

2. Provide guidance in the professional areas of historic preservation, architecture, engineering, fire and life/safety, security, building construction, materials conservation, historic architecture, historic landscape architecture, archaeology, and history as appropriate.

3. Provide ongoing review in the disciplines of historic architecture, historic landscape architecture, and archaeology, on historic building and landscape rehabilitation designs, and advise project proponents as designs progress and on modifications to scopes of work that will bring them into compliance with the Secretary's Standards.

F. The Trust shall detail the scope of professional development undertaken each year as part of the Trust's annual report in accordance with Stipulation XIV.

### III. DOCUMENTATION, IDENTIFICATION, EVALUATION & ANALYSIS OF HISTORIC PROPERTIES

#### A. Documentation, Identification & Evaluation of Historic Properties

1. Evaluation of buildings or structures shall be conducted within the framework of the National Historic Landmarks Criteria, the NRHP Criteria, and the “National Register of Historic Places Registration Forms for the Presidio of San Francisco National Historic Landmark District” (1993, or subsequent updates). If properties are found that date to either before or after the period of significance (such as prehistoric) or do not fit the NHL criteria, those properties will be individually evaluated under NRHP criteria.

2. If a property in Area B that was not previously listed as a contributor to the NHLD or determined eligible for listing on the NRHP is determined by the Trust to be eligible, the Trust shall treat that property as eligible for purposes of this PA. The Trust shall consult on such decisions with the NPS and SHPO. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Any such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

3. If the Trust determines that a property not previously listed or evaluated does not contribute to the NHLD or is not eligible for listing on the NRHP, the Trust shall consult with the SHPO and NPS on such decisions. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

4. The Trust shall evaluate, or cause to be evaluated, the significance of and apply NHL and NRHP criteria to archaeological properties that have not previously been evaluated for contributing to the NHLD or determined eligible for listing on the NRHP. The Trust shall consult with the SHPO and NPS on such decisions. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

5. If the Trust, NPS, and SHPO disagree about a property the Trust has determined eligible or ineligible, the Trust will submit the matter to the Keeper of the National Register in accordance with 36 C.F.R. Part 63(d).

6. Should a concurring party to this PA or a member of the public believe that a property found ineligible under this stipulation is eligible as a contributor to the NHLD or for listing in the NRHP, that party or person may contact the Trust, SHPO, and NPS to request consultation on the determination. Consultation should not exceed 30 days. Should the consultation fail to reach concurrence on the determination, that party or person may contact the Keeper of the National Register and request a determination of eligibility under 36 C.F.R. § 63.4.

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295 7. Ten years following the acceptance by the NPS of the NHLD update that will be  
296 completed by FHWA in accordance with the Doyle Drive PA, the Trust shall initiate the  
297 next comprehensive update to the NHLD.  
298

299 B. Analysis of Historic Properties  
300

301 1. The Trust may, at its discretion, prepare analysis documents and issue-oriented  
302 plans in order to inform maintenance plans or consultation around rehabilitation or  
303 management strategies for historic properties. These documents shall include, but not be  
304 limited to, sub-district or site-specific design guidelines, historic structure reports  
305 (HSRs), cultural landscape reports (CLRs), or issue-oriented plans (e.g., Vegetation  
306 Management Plan, Historic Forest Character Study).  
307

308 a) The Trust shall prepare CLRs according to the format recommended by  
309 Chapter 7 (Management of Cultural Landscapes) of *NPS 28: Cultural Resource*  
310 *Management Guideline*.  
311

312 b) All HSRs shall be written in accordance with the standards established in  
313 *Preservation Brief 43: The Preparation and Use of Historic Structure Reports*  
314 (NPS, 2005). The HSRs will include a history of the property/building,  
315 construction history, archaeology, architectural evaluation, conditions  
316 assessment, maintenance requirements, recommendations for proposed work,  
317 copies of original drawings and specifications (if available), current drawings if  
318 different from the original, and historic and current photographs.  
319

320 c) Sub-district or site-specific design guidelines shall remain consistent  
321 with applicable Principles and PDGs to the maximum extent possible.  
322

323 2. The Trust shall notify parties of its intent to prepare a document under this  
324 stipulation via electronic mail once a project has been initiated.  
325

326 a) Upon completion of a first draft, the DFPO shall provide copies of the  
327 document to signatory and concurring parties for a 30 day review and comment  
328 period, unless another time period is agreed to by the signatories, prior to  
329 finalization. Documents will be sent in electronic or hard copy according to the  
330 recipient organization's requirements.  
331

332 b) Comments received within the comment period will be considered in the  
333 finalization of the documentation.  
334

335 c) The DFPO will circulate a summary of all comments received during the  
336 review period and the Trust's responses along with final copies of the documents.  
337

338 d) Final copies of the documents shall be posted to the Trust's website and  
339 described in the Trust's annual report in accordance with Stipulation XIV.  
340



3. Completion of an analysis document that contains treatment recommendations shall not substitute for review of an undertaking involving applicable historic properties under Stipulation IV. Rather, the documents prepared under this stipulation are intended to inform the Trust's and consulting parties' ability to assess and reach determinations of effect for undertakings reviewed under Stipulation IV.

#### IV. REVIEW OF UNDERTAKINGS

##### A. Determine the Undertaking

1. Early in the planning process, consistent with 36 CFR 800.1(c), the DFPO shall determine if a proposed project, which may originate from the Trust, Trust's permittees, federal or non-federal tenants, or other parties, constitutes an undertaking.

a) If the DFPO determines the proposed project has no potential to cause effects to historic properties, then the Trust has no further obligations under this Stipulation.

b) If the DFPO determines the proposed project is an undertaking with the potential to cause effects on historic properties, the DFPO will proceed to the next step in the review process in accordance with Stipulation IV(A)(2).

2. The DFPO shall assign one of the following categories to the undertaking.

a) Undertakings that are repetitive and low impact in nature (as described in Appendix A; to be reviewed in accordance with Stipulation IV(A)(3)).

b) Undertakings that relate to the ongoing operation and maintenance of the Presidio that include, but are not limited to the following: maintenance, rehabilitation, repair, moving, interim and long-term leasing, road modifications or improvements, and work regarding grounds and associated landscaping, traffic and parking improvements, utility and infrastructure work, natural resource restoration, environmental remediation and forestry work, permits, leases, or other agreements issued by the Trust. These undertakings will be reviewed through the N<sup>2</sup> process that includes joint NHPA and NEPA (at the Categorical Exclusion, or CE, level) in accordance with Stipulation IV(C)(1).

c) Undertakings that relate to stand-alone new construction, substantial additions to historic buildings or landscapes, partial or full demolition of historic properties, a rehabilitation that includes any of the previous actions as part of its scope, or undertakings that are not associated with the PTMP, an issue oriented plan, or site specific design guidelines, within Area B. These undertakings will be reviewed by coordinating NHPA and NEPA (at the Environmental Assessment/Environmental Impact Statement (EA/EIS) level in accordance with Stipulation IV(C)(2)).

d) Undertakings that seek to obtain certification under the Federal Historic Preservation Tax Incentives Program (known as Tax Credit Reviews), and reviewed in accordance with Stipulation V.

e) Undertakings that may affect historic properties, but do not fit into one of the above categories listed in Stipulation IV(A)(2)(a) through (d) shall be reviewed in accordance with 36 C.F.R. § 800.

3. If the DFPO determines the undertaking is an activity that is listed in Appendix A, the DFPO will document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

4. If the DFPO determines the undertaking is not an activity that is listed in Appendix A, the DFPO will continue on in the analysis and review process, beginning with Stipulation IV(B).

B. Define the Area of Potential Effects and Identify Historic Properties

1. The DFPO shall determine and document the undertaking's APE taking into account direct, indirect, and cumulative effects.

2. The DFPO will identify historic properties within the APE using the 1993 Update, the 2008 Update, subsequent NHL updates, or additional surveys if warranted. If there are unevaluated properties in the APE that may be eligible individually or as contributors to the NHL, the Trust shall consult with the SHPO and NPS according to Stipulation III.

3. If the DFPO determines that the APE contains no contributing or eligible resources, the DFPO shall consider the effect the project may have on the NHL as a whole. If the DFPO determines that the NHL or other historic properties will not be affected, this determination shall be documented for inclusion in the Trust's annual report (Stipulation XIV).

4. If the DFPO identifies a historic property that may be directly, indirectly, or cumulatively affected within the APE, the DFPO will continue on in the review process.

C. Assessment of Effects from the Undertaking and Resolution of Adverse Effects

The DFPO will assess the effects of the proposed undertaking, including cumulative effects, on historic properties using the criteria of adverse effects (36 C.F.R. § 800.5(a)(1)) and the Trust will complete the review process using one of the following compliance pathways.

1. N<sup>2</sup> Review Process

a) The Trust will assign a responsible project manager (PM) for each undertaking. The PM, who will represent the Trust, Trust's permittees, federal or non-federal tenants, or other parties, shall submit a package describing the proposed undertaking to the N<sup>2</sup> Compliance Coordinator for review by the DFPO and Trust NEPA Compliance Manager. The package will consist of a project summary document (known as a "Project Screening Form"), plans, drawings, specifications, photos, and any other information useful for describing the proposed undertaking.

- b) The DFPO shall add a description of the APE, in accordance with Stipulation IV(B)(1), to the Project Screening Form.
- c) The DFPO shall add identified historic properties, in accordance with Stipulation IV(B)(2), to the Project Screening Form.
- d) If necessary, the DFPO shall consult with the PM and other staff qualified according to Stipulation I(A)(3) in order to ensure that the undertaking can achieve a finding of no adverse effect.
- e) In collaboration with the Trust's Principal Archaeologist, Archaeologist or other qualified archaeologist, the DFPO shall ensure that an appropriate level of archaeological identification, assessment, or monitoring is performed for undertakings on top of or in proximity to archaeological areas of the NHL (see Appendix D), in accordance with an Archaeological Management Assessment (AMA) prepared for the undertaking in accordance with Stipulation VI.
- f) The DFPO shall make one of the following determinations (see Appendix E for a flow chart of the below steps):
- (1) **Historic Property Affected, No Adverse Effect** - If the above process results in the DFPO determining there is no adverse effect, the DFPO will document that finding in the undertaking's administrative record, along with stipulations to ensure that any unanticipated adverse effects are avoided, and ensure that the finding is included within the Trust's annual report in accordance with Stipulation XIV, and the undertaking may be implemented
  - (2) **Historic Property Affected, No Adverse Effect through Conditions** - If the above process results in the DFPO's finding that the proposed undertaking will have no adverse effect on historic properties with conditions, the DFPO will place the item on the agenda for the weekly N<sup>2</sup> review, which will consist of the following:
    - (a) The DFPO will prepare a project summary for circulation via electronic mail to qualified Trust staff that will participate in the review, signatory parties, except the ACHP, and concurring parties no later than the Monday before the regular Thursday morning meetings (occurring each week at 10:00 am Pacific Time). The project summary shall include information describing how the undertaking has been designed to avoid adverse effects. Hard copies of the Project Screening Form and supporting materials will also be made available in the Trust library, located at 103 Montgomery Street, for review and comment by the public.

(b) Signatory, concurring parties and the public may submit comments or questions about the project ahead of the Thursday meetings; signatory and concurring parties may also attend the meeting in person. Trust staff qualified under Stipulation I(A)(3) will review the project documents ahead of time and be present at the meeting to contribute to the discussion and development of conditions.

(c) Trust compliance staff will document meeting minutes and conditions required to support the no adverse effect determination, and circulate these draft minutes to signatory and concurring parties via electronic mail for comment or questions within five (5) business days of the meeting. The minutes and conditions shall reflect input from the DFPO and qualified Trust staff, as well as comments received from signatory and concurring parties or the public.

(d) Within five (5) business days following circulation of the meeting minutes and project conditions, the DFPO will distribute final minutes via electronic mail and then prepare a Certificate of Compliance (CoC) and Categorical Exclusion (CE) to be included in the undertaking's administrative record.

(e) The Trust will include the project description and finding in the Trust's annual report in accordance with Stipulation XIV and make the finding available upon request to any party or the public.

(f) Following the issuance of the CE and/or CoC, and absent objection by any consulting party or member of the public who has requested a copy of the finding, the undertaking may proceed without further review per this Stipulation.

(g) Because the Trust coordinates its NEPA and NHPA review, projects may appear on the N<sup>2</sup> agenda that have only NEPA implications (e.g. approval of new herbicides for use in Area B), and do not constitute an undertaking. In these cases, the Trust will note on the agenda that the project has no potential to affect historic properties and thus will not be subject to NHPA review.

(3) **Historic Property Affected, Adverse Effect** - If the DFPO finds that the proposed undertaking will have an adverse effect on historic properties, the DFPO shall consult with the NPS and SHPO to determine if the adverse effect may be avoided.

(a) Where the Trust, SHPO, and the NPS agree on measures to avoid adverse effects, they shall document their agreement in the administrative record for the project, and include a summary of avoidance measures for the undertaking in the annual report in accordance with Stipulation XIV. The undertaking may proceed without further review per this Stipulation.

(b) If the DFPO finds the proposed undertaking will result in an adverse effect and consults with NPS and SHPO but fails to reach agreement pursuant to paragraph IV(C)(1)(f)(3)(a) above, then the DFPO shall also consult with ACHP and the concurring parties to resolve the adverse effect in accordance with 36 CFR 800.6.

## 2. Coordination with an Environmental Assessment or Environmental Impact Statement Process

a) If the Trust is preparing an EA or an EIS for NEPA it shall follow recommendations in the CEQ/ACHP Guidance, Section IV “Road Map for Coordination,” relative to development of a comprehensive communication plan, creation of an integrated strategy for completing studies to fill data gaps that meet information standards and timing requirements for both NEPA and NHPA processes, and – where appropriate – descriptions of mitigation commitments in the decision record. The Trust will include a project-specific description of its intended “Road Map for Coordination” as part of the scoping notice for NEPA and initiation of NHPA consultation under this stipulation.

b) The Trust shall ensure that the undertakings reviewed under this compliance pathway conform to the Secretary’s Standards, the Principles, and any applicable PDG to the maximum extent possible.

c) First Consultation Package - In coordination with the opening of public scoping for the NEPA process and consistent with 36 CFR 800.1(c), the Trust shall provide the SHPO, the NPS, and concurring parties with an initial consultation package.

(1) The First Consultation Package shall include the following: a determination of the project to be an undertaking (Stipulation IV(A)(2)), a graphic and written justification for the proposed APE and list of historic properties identified in the proposed APE (Stipulation IV(B)(1) and (2)), and a preliminary assessment of effect based on the undertaking’s consistency with the Secretary’s Standards, Principles, and relevant PDGs.

(2) Provided the purpose and need describes a project that has been determined to be an undertaking (in accordance with Stipulation IV(A)(2)), the preliminary assessment of effect shall be one of the following: (1) Historic Property Affected, No Adverse Effect, (2) Historic Property Affected, No Adverse Effect through Conditions, or (3) Historic Property Affected, Adverse Effect. The comment period on this consultation package shall be coordinated with the NEPA scoping period, and will be specified in the cover letter. The comment period shall not be fewer than thirty (30) days.

d) Second Consultation Package & Process - In coordination with the release of a draft EA/Finding of No Significant Impact (FONSI) or draft EIS, the Trust will distribute to the SHPO, the NPS, and concurring parties for comment a second consultation package.

(1) For undertakings with a preliminary finding of “historic property affected, no adverse effect” or “historic property affected, no adverse effect through conditions”, the Second Consultation Package will contain the following: a final APE, summary of scoping comments and the Trust’s responses, and a determination of effect regarding the undertaking on historic properties. The Trust will include supplemental information in the second consultation package that describes the historic properties and an analysis of how the undertaking will affect them. The package will also contain a request for a consultation meeting among the signatory parties in order to discuss the Trust’s finding and seek a consensus that the undertaking will not adversely affect historic properties, conforms to the Secretary’s Standards, the Principles and any applicable PDGs to the maximum extent possible.

(a) The concurring parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust for the signatory parties’ consideration during this consultation. The Trust shall provide these comments to the signatory parties.

(b) The signatory parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust regarding the determination of effect and changes, if any, that are needed for the undertaking to avoid adverse effects, meet the Secretary’s Standards, the Principles and applicable PDGs.

(c) The consultation meeting to discuss these comments will be held in person or by telephone within ten (10) days of the close of the thirty (30) day comment period described under Stipulation IV(C)(2)(e)(1), or from the close of any extended comment period. The Trust shall provide a summary of all comments from the public gathered via review of the draft EA or EIS to the signatory parties prior to the consultation meeting. The signatory parties may decide to forego the consultation meeting if they have indicated concurrence with the Trust's findings in their comments.

(d) If the Trust modifies the undertaking in response to comments received from the SHPO and NPS in order to achieve concurrence on a finding of no adverse effect, or the signatory parties concur with the findings or decline to comment, the Trust shall document these modifications, finalize the EA/EIS and revised description of the undertaking, and immediately provide each of the other parties with copies of the final materials. The Trust shall document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

(2) For undertakings with a preliminary finding of "historic property affected, adverse effect", the Second Consultation Package will contain the following:  
a final APE, summary of scoping comments and the Trust's responses, and an assessment of the undertaking's effects on historic properties. The Trust will include supplemental information in the second consultation package that describes the historic properties and an analysis of how the undertaking will affect them. The package will also contain a request for a consultation meeting among the signatory parties in order to discuss the Trust's finding and seek a consensus on avoidance measures.

(a) The concurring parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust for the signatory parties' consideration during this consultation.

(b) The signatory parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust regarding the assessment of effect and comment on ways the undertaking could be modified to avoid adverse effects, meet the Secretary's Standards, the Principles and applicable PDGs.

(c) The consultation meeting to discuss these comments will be held in person or by telephone within ten (10) days of the close of the thirty (30) day comment period described under Stipulation IV(C)(2)(e)(1), or from the close of any extended comment period. The Trust shall provide a summary of all comments from the public gathered via review of the draft EA or EIS to the signatory parties prior to the consultation meeting.

(d) Where the Trust, SHPO, and the NPS agree on how to avoid adverse effects, they shall document their agreement in the administrative record for the undertaking, the Trust may finalize the EA/EIS to include the revised description of the undertaking and immediately provide each of the other parties with copies of the final materials. The Trust shall document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

(e) If the DFPO consults with NPS and SHPO but fails to reach agreement, then the DFPO shall also consult with ACHP and the concurring parties to resolve the adverse effect in accordance with 36 CFR 800.6.

3. Failure of NPS, SHPO, ACHP, or the concurring parties to comment within the timeframes established by this stipulation or within timeframes otherwise agreed to by those parties on any document submitted for review pursuant to this stipulation will be deemed a waiver of the opportunity to comment, and the Trust may proceed without considering comment(s) that might otherwise have been made. However, the Trust shall consider the reasonable request via written or electronic mail of any signatory party for a modification of the timeframes established by this stipulation.

## **V. Coordination with the Federal Historic Preservation Tax Incentives Program**

This stipulation applies to all undertakings in Area B proposed by tenants or others (hereby referred to as Applicants) seeking to participate in the Federal Historic Preservation Tax Incentives Program. It defines steps and responsibilities for coordinated Section 106 consultation and Certified Rehabilitation review so that the regulatory objectives of both processes may be met, and so that the Trust's role as the long-term manager of properties in Area B is supported.

- A. Applicants seeking to participate in the Federal Historic Preservation Tax Incentives Program for a historic property or properties located in Area B shall follow the process delineated in 36 CFR Part 67. For Tax Incentive project review, applicants are encouraged to engage in early conversations and coordination with the SHPO. Applicants will be responsible for submitting two copies each of Parts One, Two, and Three applications and amendments to SHPO for review and approval.
- B. The Trust shall accomplish Section 106 review for all Tax Incentive projects proposed by an Applicant through the processes described in Stipulation IV above. Consultation under Stipulation IV will address direct, indirect and cumulative effects. The Trust shall supplement consultation packages described under subparts IV(C)(1)(f)(2)(a) and IV(C)(2)(c) and (d) with



information from the Parts One and Two submittals that may assist in the review and comment of participating parties.

1. If the Applicant receives Part Two approval from the NPS-Technical Preservation Services (NPS-TPS) without conditions, the rehabilitation described in the Part Two application will be considered to conform to the Standards; and if Section 106 review under Stipulation IV results in no adverse direct, indirect, or cumulative effects from the undertaking, and Section 106 consultation under Stipulation IV will be concluded.
2. If conditions are placed on the Part Two approval, the Applicant shall be obligated to comply with those conditions.
  - i. The conditions may be resolved through compliance with the condition(s) or a Part Two amendment submitted to SHPO for review and approval. If the conditions are met and/or the amendment approved, the rehabilitation described in the Part Two application will be considered to conform to the Standards; and if the Section 106 review under Stipulation IV results in no adverse direct, indirect or cumulative effects from the undertaking, , and Section 106 consultation under Stipulation IV will be concluded.
  - ii. In the event that the Applicant cannot or will not modify the project to comply with the conditions, the Applicant may abandon the project or complete Section 106 review solely in accordance with Stipulation IV.
3. SHPO and NPS shall be responsible for coordinating comments on consultation packages submitted during the 106 review with comments on tax credit submittals among the separate reviewing offices (e.g., NPS-PWRO and NPS-TPS).

C. In addition to coordinating review under Stipulation IV(C), the Trust shall perform the following tasks in support of Tax Incentive projects:

1. The Trust will preliminarily review copies of Applicants' Parts One, Two and Three applications, and amendments to Part Two applications, prior to submittal to SHPO. The Trust will review these documents for their accuracy and consistency with Trust codes, regulations, planning documents, guidelines and general design direction as described in the Tenant Handbook and other such descriptive materials adopted or produced by the Trust for Area B. The Trust shall review these documents for no more than fifteen (15) calendar days and submit comments to the Applicant in writing prior to the Applicant's submittal of final documents to SHPO.
2. The Trust shall assist the Applicant in making a determination regarding Functionally Related Structures (FRS) according to 36 CFR 67.6(b)(4), and ensure the Applicant submits adequate documentation to NPS-TPS to confirm the determination in conjunction with the Part One application submittal.
  - i. If the NPS-TPS confirms that the tax credit project is an FRS, any other work within the complex of historically functionally related buildings that is not subject to the tax credit project must be submitted to the Trust for Section 106 review through Stipulations IV or V and demonstrated to meet the

Standards. Such determinations will be documented in the Trust's annual report in accordance with Stipulation XIV below.

- ii. If NPS-TPS confirms that there are no FRS because there is no historic functional relationship among the structures, a certification decision will be made for the tax credit project only. Any other work must be reviewed separately.

- 3. The Trust shall monitor the construction phase of a Tax Incentive project for compliance with any stipulations established through the Certified Rehabilitation process. The Trust shall also monitor the five (5) year recapture period after the Applicant's completion of the rehabilitation beginning from the date when the building or buildings associated with the Certified Rehabilitation is/are placed into service.

- i. The DFPO shall employ the review process described under Stipulation IV for any substantive actions proposed involving a Certified Rehabilitation during the five (5) year recapture period.
- ii. The DFPO shall direct the applicant to notify SHPO in writing to describe the nature of the proposed undertaking and request comment as to its appropriateness according to terms established via the Certified Rehabilitation. SHPO may consult with NPS-TPS as appropriate on the proposed additional work.
- iii. The DFPO shall ensure that the additional work is carried out according to direction from the SHPO and NPS-TPS
- iv. The DFPO shall document the work, along with the rest of the undertaking, in the Trust's annual Section 106 report in accordance with Stipulation XIV.

## VI. ARCHAEOLOGY

The Trust shall take all reasonable measures to protect archaeological sites and features identified inside the NHL. To accomplish this and inform the design process, an AMA shall be prepared by a qualified archaeologist for all undertakings that involve ground-disturbing activities within or adjacent to archaeologically sensitive areas (Stipulation IV(A)(2)(b-d)). All other ground disturbing activities are subject to archaeologist review via the Trust's dig permit process. The Trust's qualified archaeologist shall include copies of completed AMA's in the Trust's annual report in accordance with Stipulation XIV. Based on the Trust's assessment under Stipulation IV(C)(1)(e), the AMA will outline a course of action for the projects. This course of action shall include one or more of the following:

- A. The Trust shall develop a project-specific monitoring plan for those projects that are not anticipated to have an adverse effect, or that have been designed to avoid adverse effect during design development but that nonetheless are in or adjacent to identified or predicted archaeological areas (in accordance with Stipulation IV(C)(1)(f)(1) or IV(C)(1)(f)(2)). The monitoring plan will describe measures to protect archaeological features and will include the proposed location and frequency of monitoring along with required documentation procedures. Measures to identify, assess, and determine the appropriate treatment of archaeological features should they be encountered will be consistent with the discovery protocols (Appendix B).

B. The Trust shall develop a project-specific treatment plan at the completion of the schematic phase for projects that may have an adverse effect as determined under Stipulation IV(C)(1)(f)(2) but that require further identification to understand the content and dimensions of the features, to assess the nature and extent of the effect, and/or to guide continuing efforts to avoid the adverse effect. For the purposes of the undertaking, the Trust may assume NRHP eligibility for archaeological features identified. Identification will further refine recommendations in the AMA and may lead to a monitoring or treatment plan so that adverse effects will be avoided.

C. The Trust shall develop a project-specific treatment, monitoring, or other plan for those projects that have unavoidable adverse effects and where existing identification is sufficient to proceed with a treatment plan, or for which further identification is incorporated within the treatment plan. If this determination is reached through Stipulation IV(C)(1)(f)(3), the Trust shall consult with NPS and SHPO on the proposed treatment plan according to the terms of that Stipulation. The proposed plan will include a description of protection measures for unaffected archaeological features, relevant research questions to be answered, methods for data recovery, monitoring during construction, responsibilities and coordination, and the interpretation and curation of recovered materials. The plan will describe the mitigation sufficiently to serve as a scope of work and for the purpose of developing a budget. These reports will be summarized in the Trust's annual report in accordance with Stipulation XIV.

D. All material remains and associated records generated by such projects, and not subject to NAGPRA, will be accessioned, catalogued, and managed in accordance with 36 C.F.R. Part 79, "Curation of Federally-Owned and Administered Archaeological Collections," the Trust's *Archaeological Collections Policy* and the *Archaeological Collections Management Guidelines*. According to 36 C.F.R. Part 79 "material remains" means artifacts, objects, specimens and other physical evidence that are excavated or removed in connection with efforts to locate, evaluate, document, study, preserve or recover a prehistoric or historic resource.

## **VII. UNANTICIPATED EFFECTS & POST REVIEW DISCOVERY**

A. If after completion of an undertaking's review pursuant to Stipulation IV(C)(1) through (3), or if during the implementation of any previously reviewed undertaking, the Trust finds it necessary to modify the project scope or construction documents, the DFPO shall determine the necessary compliance pathway to address this modification in accordance with Stipulation IV(C).

B. The Trust shall utilize its Standard Archaeological Discovery Protocol (see Appendix B) for projects without any anticipated effects; this will be the only condition required prior to implementation. In the event of an archaeological discovery the Trust may assume eligibility for the purposes of treatment for the current undertaking. Should circumstances arise where the Trust cannot address discoveries in a manner consistent with the protocol, the Trust shall notify the SHPO and NPS of the discovery and any project-related time constraints, then agree upon reasonable time frames for consultation. The Trust shall take into account any timely comments prior to making a final decision on treatment. This protocol will describe the Trust's methods to comply with the Archaeological Resources Protection Act (ARPA) and NAGPRA for discoveries.

## **VIII. EMERGENCY RESPONSE**

A. In the event that an emergency occurs at the Presidio that affects historic properties, the Trust may take actions without consultation to preserve life or property.

1. Trust will notify SHPO and NPS within 24 hours of the emergency or as soon as conditions permit.

2. The Trust will notify the SHPO and NPS of any actions taken to preserve life or property within five days of completing the action.

3. The Trust will include a summary of the emergency and any actions taken in the Trust's annual report in accordance with Stipulation XIV.

B. In the event of a disaster or emergency declared by the President or the Governor of California, the Trust can undertake actions involving historic properties to prevent further damage within thirty (30) days from the declaration of the disaster or emergency.

1. Emergency response work will be conducted in a manner that avoids or minimizes effects on historic properties and, where possible, such emergency measures will be undertaken in a manner that does not foreclose future preservation or restoration.

2. The Trust shall notify the NPS and SHPO of the emergency within two (2) days of the declaration and include the steps being taken to address the emergency, and shall provide on-site monitoring of emergency response work by qualified personnel (safe working conditions permitting). NPS and SHPO may comment on the proposed steps in order to facilitate the Trust's emergency response plan while also avoiding adverse effects to affected properties.

3. The Trust will include a summary of the emergency and response taken in the Trust's annual report in accordance with Stipulation XIV.

4. This timeframe may be extended with approval of the NPS and SHPO.

C. Actions as part of the recovery of a disaster or emergency shall be reviewed in accordance with Stipulation IV.

## **IX. DISPUTE RESOLUTION**

Should any signatory or concurring party to this PA object at any time to any actions proposed or the manner in which the terms of this PA are implemented, the Trust shall consult with such party to resolve the objection. If the Trust determines that such objection cannot be resolved, the Trust will:

A. Notify signatory and concurring parties of the intent to resolve a dispute through the involvement of the ACHP, and forward all documentation relevant to the dispute, including the Trust's proposed resolution, to the ACHP. The ACHP shall provide the Trust with its advice on the resolution of the objection within thirty (30) days of receiving adequate documentation. Prior to reaching a final decision on the dispute, the Trust shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and provide them with a copy of this written response. The Trust will then proceed according to its final decision.

1. If the ACHP does not provide its advice regarding the dispute within the thirty (30) day time period, the Trust may make a final decision on the dispute and proceed accordingly. Prior to reaching such a final decision, the Trust shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the PA, and provide them and the ACHP with a copy of such written response.

2. The Trust's responsibility to carry out all other actions subject to the terms of this PA that are not the subject of the dispute remain unchanged.

## **X. AMENDMENTS**

A. This PA may be amended when such an amendment is agreed to in writing by all signatories. The amendment will be effective on the date a copy signed by all of the signatories is filed with the ACHP.

B. Appendices A, B, C or D may be revised with the written agreement of the Trust, SHPO, and NPS without a revision being made to the underlying PA in accordance with an MOA and filed with the ACHP. Any such change will be documented in the Trust's annual report in accordance with Stipulation XIV.

## **XI. TERMINATION**

A. Only a signatory party may terminate this PA. If any signatory party proposes termination of this PA, the signatory party proposing termination shall notify all other signatories in writing, explain the reasons for proposing termination, and consult with the other signatories for no more than thirty (30) days to seek alternatives to termination. Should such consultation result in an agreement on an alternative to termination, then the signatories shall proceed with an amendment to the agreement.

B. If within thirty (30) days (or another time period agreed to by all signatories) an amendment cannot be reached, any signatory may terminate the PA upon written notification to the other signatories.

C. Once the PA is terminated, and prior to work continuing on an undertaking, the Trust must either (a) execute a Memorandum of Agreement pursuant to 36 C.F.R. § 800.6, or (b) request, take into account, and respond to the comments of the ACHP under 36 C.F.R. § 800.7. The Trust shall notify the signatories as to the course of action it will pursue.

## **XII. DURATION**

A. This PA shall become effective upon execution by the Trust, the SHPO, the NPS, and the ACHP and shall remain in effect until December 31, 2024, or unless terminated prior to that time in accordance with Stipulation XI, or unless it is extended for an additional period of time by mutual written agreement of the signatory parties.

## **XIII. DEFINITIONS**

A. The definitions of terms appearing at 36 C.F.R. § 800.16 are incorporated by reference into this PA.

#### **XIV. ANNUAL REVIEW AND MONITORING**

A. On or before January 31st of each year so long as this PA is in effect, the Trust shall prepare and provide to all parties an annual report describing how the Trust is carrying out its responsibilities under this PA.

B. The Trust shall ensure that the Report is made available to the public and that potentially interested persons and members of the public are invited to provide comments to the SHPO, NPS, and the ACHP as well as to the Trust. At the request of the SHPO, NPS, or the ACHP, the Trust shall supplement this process through meeting(s) to address comments and/or questions.

C. The Report shall include, at a minimum:

1. A list of all undertakings reviewed under Stipulation IV.
2. Efforts to identify and/or evaluate potential historic properties, monitoring efforts, AMA or research designs, and treatment of historic properties.
3. Reports of any training given to Trust personnel pursuant to Stipulation II, identification of current Trust points of contact, and notification of any qualified personnel changes.
4. Any recommendations to amend this PA or improve communications among the parties.

D. The SHPO and NPS may monitor activities carried out pursuant to this PA, and the ACHP will review such activities if it deems necessary or is so requested. The Trust shall cooperate with the SHPO, NPS and the ACHP in carrying out their monitoring and review responsibilities.

**EXECUTION** of this PA by the Trust, SHPO, NPS, and the ACHP and implementation of its terms evidence that the Trust has taken into account the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

992 PROGRAMMATIC AGREEMENT  
993 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
994 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
995 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
996 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
997 AND  
998 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
999 FOR AREA B OF  
1000 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,  
1001 GOLDEN GATE NATIONAL RECREATION AREA  
1002 SAN FRANCISCO, CALIFORNIA  
1003  
1004

1005 SIGNATORY PARTY:

1006  
1007 THE PRESIDIO TRUST  
1008  
1009

1010  
1011  
1012 Name:



1013  
1014 Title: Executive Director  
1015

1016 Date: April 23, 2014

1017 PROGRAMMATIC AGREEMENT  
1018 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
1019 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
1020 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
1021 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
1022 AND  
1023 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
1024 FOR AREA B OF  
1025 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,  
1026 GOLDEN GATE NATIONAL RECREATION AREA  
1027 SAN FRANCISCO, CALIFORNIA  
1028  
1029

1030 SIGNATORY PARTY:

1031  
1032 NATIONAL PARK SERVICE: PACIFIC WEST REGION  
1033  
1034

1035  
1036  
1037 Name:

*Christie Lehnert*

1038 Title:

*Reg. Dir.*

1039 Date:

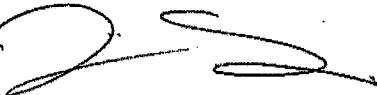
*4/24/2014*



1040 PROGRAMMATIC AGREEMENT  
1041 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
1042 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
1043 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
1044 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
1045 AND  
1046 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
1047 FOR AREA B OF  
1048 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,  
1049 GOLDEN GATE NATIONAL RECREATION AREA  
1050 SAN FRANCISCO, CALIFORNIA  
1051  
1052

1053 SIGNATORY PARTY:

1054  
1055 CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
1056

1057   
1058  
1059

1060 Name: Jenan Saunders

1061  
1062 Title: Deputy State Historic Preservation Officer  
1063

1064 Date: April 25, 2014

PROGRAMMATIC AGREEMENT  
AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
AND  
VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
FOR AREA B OF  
THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,  
GOLDEN GATE NATIONAL RECREATION AREA  
SAN FRANCISCO, CALIFORNIA

SIGNATORY PARTY:

ADVISORY COUNCIL ON HISTORIC PRESERVATION

Name: John W. Fowler  
Title: EXECUTIVE DIRECTOR  
Date: 4/29/14

1086 **APPENDIX A**

1087 **REPETITIVE OR LOW IMPACT ACTIVITIES**

1088 The following projects are exempt from further review or consultation with the SHPO, NPS, and the  
1091 ACHP under the terms of this PA.

- 1092
- 1093 A. Maintenance of contributing buildings and structures which includes:
- 1094
- 1095 1. Housekeeping, routine maintenance, building monitoring, and other such actions  
1096 (such as repair/replacement of light switches, and rewiring existing fixtures in existing  
1097 conduit, replacement of window putty) that do not damage historic fabric.
- 1098
- 1099 2. Painting of historic structures (exterior and interior) to match existing color,  
1100 consistent with approved Residential Paint Palette, or based on paint analysis by an  
1101 architect or exhibit specialist.
- 1102
- 1103 E. Maintenance operations for non-contributing buildings and structures in a historic  
1104 district, except excavations and borings in archaeologically sensitive areas.
- 1105
- 1106 F. Painting of non-historic buildings and structures (exterior and interior).
- 1107
- 1108 G. Maintenance and repair or replacement of roofs or parts of a roof on historic and non-  
1109 historic structures that are deteriorated beyond repair, when replacement matches existing or  
1110 original material and design, and the Secretary's Standards, or maintenance scope of work that  
1111 does not alter the integrity of the historic material.
- 1112
- 1113 H. Grading of terrain adjacent to a building to achieve positive water runoff in areas not  
1114 designated as archaeologically sensitive or having vegetation or other characteristics which  
1115 contribute to the cultural landscape and would be affected by grading.
- 1116
- 1117 I. Routine grounds maintenance such as grass cutting and treatment, maintenance of shrubs,  
1118 and tree trimming, provided these activities are consistent with the Vegetation Management Plan  
1119 and preservation of the cultural landscape.
- 1120
- 1121 J. Maintenance of existing roads or existing parking areas, including repaving and grading,  
1122 within previously disturbed areas, where the work does not affect the historic integrity and  
1123 character defining features of roads that are historic properties.
- 1124
- 1125 K. Rehabilitation, maintenance, or replacement of utility lines, transmission lines, and non-  
1126 historic fences and walls within previously disturbed areas, not including known archaeological  
1127 sites.
- 1128
- 1129 L. Health and safety activities such as non-destructive testing for radon gas, asbestos, lead-  
1130 based paint, lead pipes, and hazardous materials and wastes.
- 1131
- 1132 M. Conducting non-ground disturbing elements of the applicable Integrated Pest  
1133 Management program for control of pests such as termites, insects, and rodents.
- 1134

N. Maintenance of existing facilities that does not involve new or additional ground disturbance (e.g., maintenance or replacement of guard rails, barriers, traffic control devices, light fixtures, non-historic curbs and sidewalks).

O. Maintenance (that does not change the configuration or appearance of the existing facilities) of existing electronic communication sites involving no ground disturbance.

P. Drilling test wells outside the boundaries of known archaeological sites for such purposes as water, slope stability, and detection of contaminants when continuous core sample is submitted to archaeology lab.

Q. Mitigation or abatement of hazardous materials where this can be accomplished without impact to historic integrity or character-defining features of historic properties in situations such as the following:

1. Removal of asbestos insulation from piping and around duct work in open areas;
2. Removal of damaged asbestos floor tile and replacement with similar non-asbestos tile;
3. Carpeting over damaged asbestos floor tiles which do not contribute to the historic significance of a structure;
4. Encapsulation of lead-based paint in window trim and molding where there is no change to appearance.

R. Conducting small-scale and select destructive testing in contributing buildings to expose and assess concealed structural conditions (such as removal of small areas of plaster wall finish) and/or to assess material capacities (such as masonry push testing or concrete slab coring) when performed in areas that are easily repairable or otherwise inconspicuous.

## APPENDIX B

### STANDARD ARCHAEOLOGICAL DISCOVERY PROTOCOL

A. There are three types of discoveries that are covered by this protocol:

1. Human remains of Native American or other derivation.
2. Cultural resources that have the potential to be significant.
3. Cultural resources not requiring further consideration.

B. An unanticipated discovery refers to any situation where previously unidentified archaeological resources or human remains are encountered during ground-disturbing activities. Unanticipated discovery protocols apply to those archaeological finds that are exposed during construction or construction-related activities whether an archaeologist is present or not. All contractors will immediately report to the Trust archaeologist if archaeological materials are uncovered during construction activities. All contractors must cease operations within the vicinity of the find until the Trust archaeologist is consulted. Cultural materials should be avoided by all future project activities and protected in place until a decision about their potential significance can be made. The Trust may assume NHL or NRHP eligibility of inadvertently discovered archaeological features for purposes of this treatment. All materials are property of the Trust and are not to be taken for personal use or display. The removal of artifacts from federal land is a federal offense and can result in substantial fines and/or imprisonment.

C. Archaeological resources include, but are not limited to, stone, brick, and concrete building foundations, isolated historic artifacts, historic privy pits and household waste deposits, and items of Native American derivation such as stone tools, shell and animal bone waste, shell beads, and habitation areas. A more detailed list follows:

1. Human remains;
2. Concentrations of rock, ash, animal bone or shell;
3. Buried layers containing a dark, almost black or very dark brown soil often containing charcoal and shell fragments;
4. Concentrations of artifacts such as stone bowls, arrowheads, bone tools, shell beads, etc.;
5. Architectural foundations made of stone, brick, wood, or concrete;
6. Architectural fabric;
7. Concentrations or historic material such as fragments of glass bottles, ceramic dishes, old cans, metal hardware, or other obvious trash dumps;
8. Pockets of debris containing food remains (e.g. cut bone, seeds, pits); and

9. Other materials that do not qualify as archaeological resources might also be encountered. These include: subsurface utilities such as water or sewer lines, materials manufactured after 1950, and small concentrations of broken concrete, broken asphalt, modern aluminum cans or beer bottles, and/or unmarked, unmortared bricks that have been deposited as fill, if no other cultural materials are present. These are generally not considered significant finds but should be brought to the Trust archaeologist's attention to inform future oversight.

D. Human Remains

1. All project-related ground-disturbing activities at the Presidio are designed to avoid human remains. If human remains, funerary objects, sacred objects, or objects of cultural patrimony are inadvertently discovered they shall be protected in place and avoided by all project activities. Ground disturbing work in the vicinity of the find must immediately cease and the Trust archaeologist must be contacted. Presidio Archaeology Lab staff will notify the Trust's DFPO. If necessary, the Trust will notify the San Francisco Medical Examiner of the inadvertent discovery of human remains.

2. The immediate protection of human remains at the site shall be accomplished by

- a) keeping any discovery confidential, and
- b) securing the location to prevent disturbance of the remains and any associated materials.

3. The Trust archaeologist shall determine whether NAGPRA applies to the discovery and will ensure that the finds are treated in compliance with all requirements outlined at 43 C.F.R. § 10.4. Any materials not subject to NAGPRA will remain under Federal control.

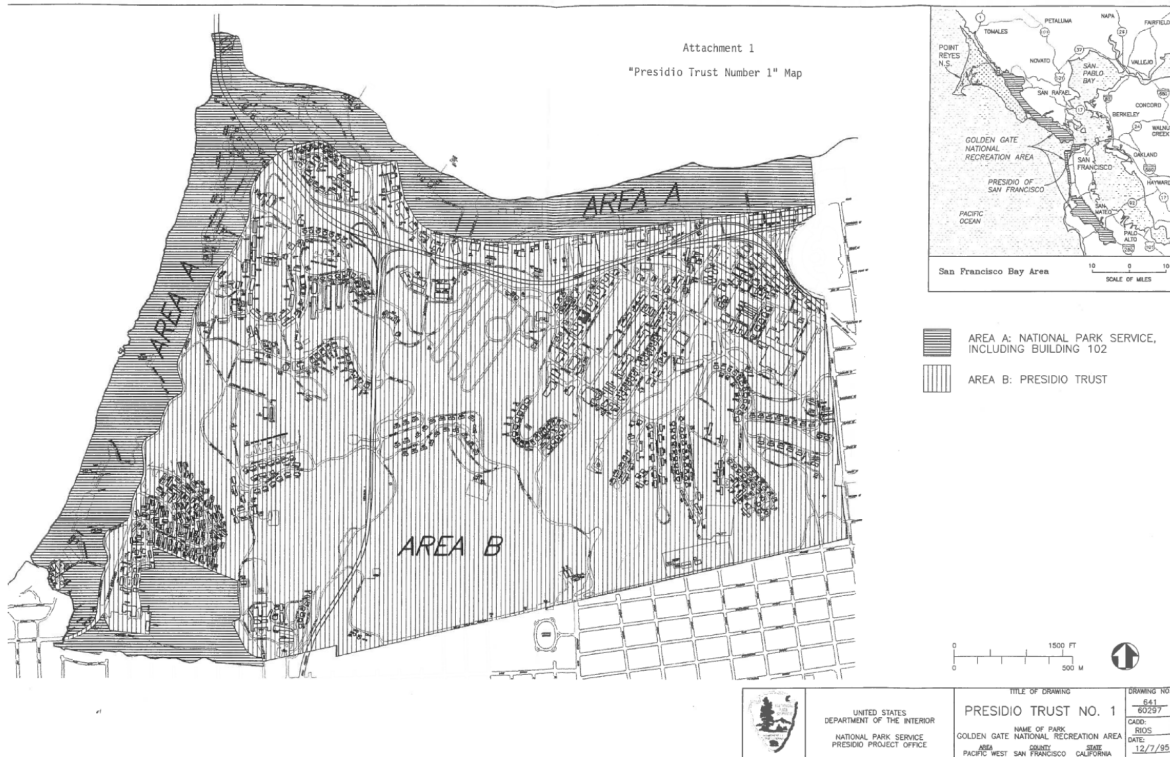
4. The Trust archaeologist shall determine whether the human remains are a single isolated burial or are potentially part of a cemetery or a larger archaeological site. This may necessitate the involvement of a consulting physical anthropologist. Articulated human remains, either as part of a single burial or larger cemetery, will be protected in place and avoided by all project activities. This may involve abandonment or redesign of the project.

5. If the discovery is limited to disarticulated human remains, the Trust archaeologist or a consulting physical anthropologist will direct necessary collection efforts. Further identification work may be necessary to determine the frequency of disarticulated human remains in the project area, and to determine an appropriate course of action. Any disarticulated remains collected from the site will be stored in archival boxes in a secure location until appropriate re-interment can take place. No human remains will be accessioned into the Presidio Trust Archaeological Collections.

APPENDIX C

AREA OF POTENTIAL EFFECT

“Presidio Trust Number 1,” dated December 7, 1995



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APPENDIX D

ARCHAEOLOGICAL AREAS OF THE NHLD



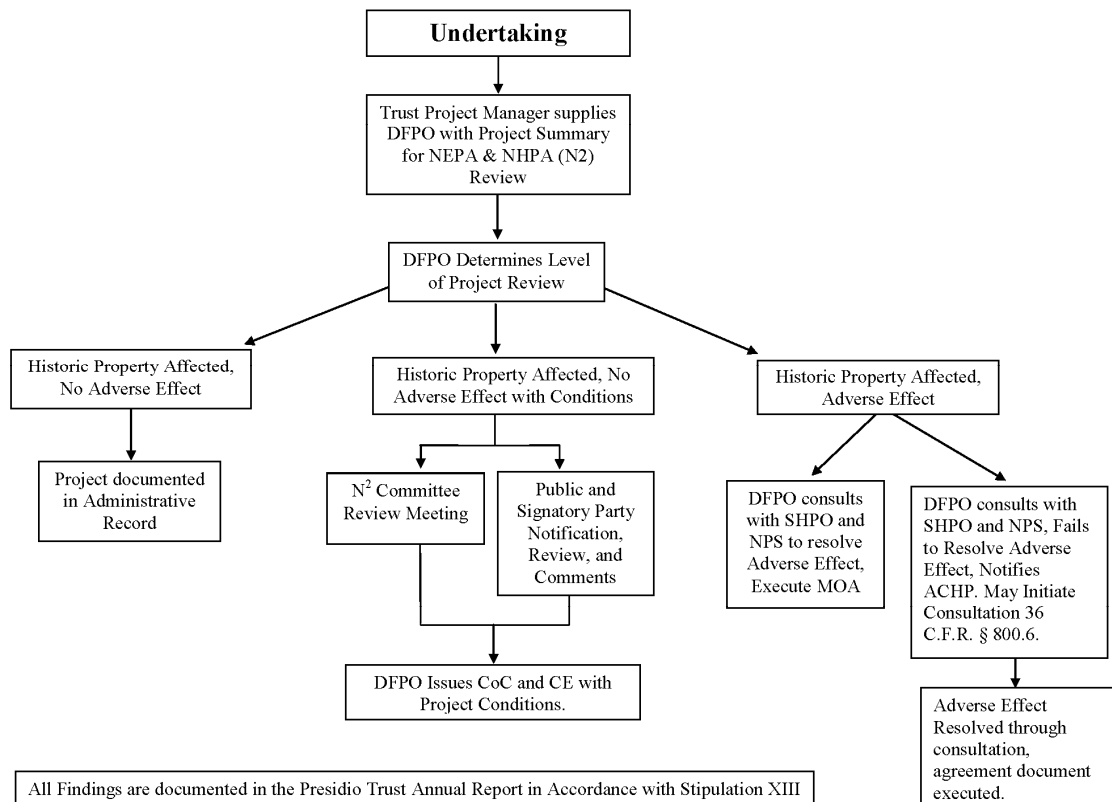
1278



## APPENDIX E

### N<sup>2</sup> REVIEW PROCESS

#### The Presidio Trust N<sup>2</sup> Process



1286 **APPENDIX F**

1287  
1288 **LIST OF PARTIES NOTIFIED DURING THE CONSULTATION PROCESS (May – December**  
1289 **2013)**

1290  
1291 **Concurring Parties to the 2002 PTPA, notified, comments requested on May 24, 2013 and**  
1292 **November 15, 2013:**

1293 National Trust for Historic Preservation  
1294 Presidio Historical Association

1295  
1296 **Participating Parties to the 2011 Main Post Update PA, notified and invited to participate August**  
1297 **26, 2013:**

1298 National Trust for Historic Preservation  
1299 Presidio Historical Association  
1300 San Francisco Architectural Heritage  
1301 People for a Golden Gate National Recreation Area  
1302 National Parks Conservation Association  
1303 Sierra Club  
1304 Decendants of the de Anza and Portola Expedition  
1305 Neighborhood Associations for Presidio Planning  
1306 Cow Hollow Association  
1307 Laurel Heights Improvement Association  
1308 Marina Community Association  
1309 San Francisco Film Society  
1310 Interfaith Center at the Presidio

1311  
1312 **eNews Announcements to 9,000 subscribed members of the public on July 12, 2013 and November**  
1313 **20, 2013, notifying them of the process and inviting comment**  
1314



# 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

## Exhibit B: The Presidio Trust N<sup>2</sup> Review Process to achieve compliance with the **National Historic Preservation Act (NHPA) and the National Environmental Policy Act (NEPA)**

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### **N<sup>2</sup> PROJECT REVIEW**

#### **Determining whether NHPA applies to a project**

Under the National Historic Preservation Act (NHPA) and the Presidio Trust's Programmatic Agreement (PTPA) with the National Park Service, State Office of Historic Preservation and the Advisory Council on Historic Preservation, prior to any undertaking, the Trust must "take into account the effect of the undertaking on any district, site, building, structure or object that is included in or eligible for inclusion in the National Register." (16 U.S.C. 470f)

#### **Determining whether NEPA applies to a project**

Under the Trust's National Environmental Policy Act (NEPA) regulations, any individual or group seeking "to demolish, construct, reconstruct, develop, preserve, rehabilitate, or restore real property within the Presidio Trust Area" is subject to NEPA review (§ 1010.3).

### **PROJECT SCREENING FORM for NEPA and NHPA**

The Project Screening Form (Appendix B) is available on the TrustNet, the Presidio Trust's (Trust) internal web site. The Trust compliance team uses the screening form for pre-review consultation, which helps to identify the potential for environmental impacts and adverse effects to a historic property that may result from proposed activities. Projects reviewed by the N<sup>2</sup> team are those that are anticipated to receive a Categorical Exclusion (CE) and a Certificate of Compliance (CC), which certify that there will not be an adverse effect to historic resources and that environmental impacts will not be significant. A flow chart in Appendix C provides a visual representation of the N<sup>2</sup> process.

Project managers are required to fill out a Project Screening Form for any activity that is subject to N<sup>2</sup> review (based on the criteria described above). The intent is to provide the resource specialists tasked with reviewing projects for NEPA and NHPA compliance with detailed information about project proposals prior to the N<sup>2</sup> review meeting. The form has six information sections and 22 questions that address whether the potential for environmental impact or potential for adverse effect to historic property exists. The first part of the Project Screening Form summarizes specific project details, while the second part identifies potential effects. Part 2 of the screening form requires details about project-specific potential impacts on a wide range of resources, ranging from historic buildings to native plant communities.

Upon receipt of the project proposals, the Historic Preservation Specialist reviews the project proposal to determine the level of review required. Sometimes, consultation with only one or two resource specialists is required to certify that resources will not be negatively affected. This level of review is known as "administrative review." Complex or multi-phase projects (such as building rehabilitations) require full N<sup>2</sup> committee review. An N<sup>2</sup> submittal includes digital and hard copies of the screening form, along with attachments (usually drawings or maps), which must be submitted one week prior to the meeting.

### **N<sup>2</sup> MEETING**

Project managers may use the weekly N<sup>2</sup> meeting to 1) review their project at the scoping stage in order to assist them in completing the proper documentation *or*, 2) present their project to the N<sup>2</sup> team



Presidio  
Trust

## 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit B: The Presidio Trust N<sup>2</sup> Review Process  
to achieve compliance with the  
**National Historic Preservation Act (NHPA)** and  
**the National Environmental Policy Act (NEPA)**

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for comments on projects requiring a planning record and compliance documentation. N<sup>2</sup> Meetings are held every Thursday at 10am, and agendas are distributed electronically to team members, PA parties and presenters in advance of the meeting. Members of the signatory and concurring parties to the PTPA may attend project review meetings and comment on projects under review. Project documents are also made available to the public in the Trust Library in building 103 (103 Montgomery Street).

The Presidio Trust N<sup>2</sup> Review Team is comprised of the following resource specialists:

**Federal Preservation Officer (FPO):** *Rob Thomson*

**Historic Preservation Specialist:** *Michelle Taylor (departed Trust in January 2018)*

**NEPA Compliance Manager:** *John Pelka*

**Deputy General Counsel:** *Andrea Andersen*

**Archeologists:** *Eric Blind, Kari Jones, Edward DeHaro*

**Senior Preservation Project Manager:** *Christina Wallace (departed Trust mid-year)*

**Forester:** *Peter Ehrlich, replaced by Blake Troxel mid-year*

**Associate Director of Design/Historical Architect:** *Rob Wallace*

**Integrated Pest Management Specialist:** *Christa Conforti*

**Historic Landscape Architect/Cultural Landscape Specialist:** *Michael Lamb*

**Natural Resources Specialists:** *Lew Stringer, Jonathan Young*

**Environmental Remediation Project Manager:** *Nina Larssen*

**Senior Transportation Engineer:** *Amy Marshall*

**Director of Landscape Stewardship, Public Safety & Municipal Services:** *Salvatore Genito*

**Interim Director of Municipal Services, Park Development & Operations:** *Mark Helmbrecht*

**Associate Director of Landscape Rehabilitation:** *Genevieve Bantle*

Following a full-review N<sup>2</sup> meeting, Trust compliance staff will document meeting minutes and conditions required to support a Categorical Exclusion and Certificate of Compliance, and circulate minutes to the N<sup>2</sup> team, signatory and concurring parties via electronic mail for comment or questions. The minutes and conditions will reflect input from the FPO and qualified Trust staff, as well as comments received from signatory and concurring parties or the public. Within five business days following circulation of the meeting minutes and project conditions, final minutes will be distributed and the Certificate of Compliance and Categorical Exclusion will be executed for inclusion in the undertaking's administrative record.

### CATEGORICAL EXCLUSION

The Categorical Exclusion Form is issued to the project manager as evidence of compliance with NEPA, but is not considered complete until all the conditions (for the purpose of avoiding any environmental impact) are met. A Categorical Exclusion is considered complete when all project conditions are signed off by the applicable team specialist or their designee. This documentation is generally required before going to Permitting. Some conditions apply to the construction period and



Presidio  
Trust

**2017 ANNUAL REPORT  
OF NHPA COMPLIANCE ACTIVITIES**  
Exhibit B: The Presidio Trust N<sup>2</sup> Review Process  
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**National Historic Preservation Act (NHPA) and  
the National Environmental Policy Act (NEPA)**

---

are monitored and certified after permitting. When a project proposal is administratively reviewed, the same process applies and a project approval number is assigned in the N<sup>2</sup> database.

**CERTIFICATE OF COMPLIANCE**

The Certificate of Compliance is issued to the project manager as documentation that a project will not have an adverse effect to the historic properties of the National Historic Landmark District (NHLD) or the NHLD itself. The Federal Preservation Officer, with input from the specialists on the N<sup>2</sup> review team can determine that a project 1) has no effect, 2) has no adverse effect or 3) has no adverse effect with stipulations. Stipulations constitute detailed requirements that will, when implemented, ensure that the project avoids any adverse effect(s) to historic properties. Stipulations must generally be met prior to implementation, unless specifically documented otherwise. The Historic Preservation Specialist often continues correspondence with project managers in order to document that stipulations are followed. A Certificate of Compliance is considered complete once all stipulations are signed off by the project manager, and it is returned to the compliance department. When a project proposal is administratively reviewed, a Certificate of Compliance is issued with a project approval number assigned in the N<sup>2</sup> database. Documentation of a completed Certificate of Compliance or administrative approval is required before going to the Presidio Trust Permitting Department.

All projects that receive Certificates of Compliance/Categorical Exclusions (under NEPA) are posted to the Trust's publicly accessible online database, available via its website (<http://www.presidio.gov/presidio-trust/planning/Pages/categorical-exclusions.aspx>).

**2017 Annual Report for NHPA Compliance Activities per the Programmatic Agreement Among the Presidio Trust, National Park Service, the Advisor Council for Historic Preservation and the California State Historic Preservation Office for Operations and Maintenance in Area B of the Presidio of San Francisco.**

**Project Number   Title**

**17-011   Building 93 Presidio Bowling Center Tenant Improvements**

**Summary** The existing tenant in the Presidio Bowling Center proposes to renovate the interior and limited areas of the exterior of non-historic building 93. The scope of interior work includes expansion of the kitchen and bar area including new exhaust systems; reconfiguration of the front desk and storage area at the north end of the building; and replacement of all furniture, flooring, paint, ceiling tiles, lighting and other finishes throughout the bowlers' and lanes area. The exterior scope includes an enhanced patio area to include new concrete paving, railings, heaters, furniture and an awning and possible removal of two non-historic trees. Work is expected to begin in August 2017 for a duration of three months.

**Project Type:** Rehabilitation/TI

**Project Manager:** Shemaiah Stanton

**Submitted On:** 1/11/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

**Project Number   Title**

**17-012   Public Use Limit on Four Former Building Foundations in the Vicinity of Rob Hill Campground**

**Summary** In advance of creating a nature play zone in the vicinity of four former building foundations near the fire circle at Rob Hill Campground, limited soil sampling was performed per the Presidio-wide Lead-based Paint in Soil Investigation Work Plan and indicated elevated lead is present around the foundations. Based on the lead in soil concentrations, additional investigation will be conducted around two of the former building foundations (#3 & #4) to delineate elevated lead in soil. Although it is not a high traffic area for the public, public access to the foundations will be limited until remediation is complete. A post and cable fence will be installed approximately 10 feet from the foundation walls. The fencing will not block access to any trails or the fire circle. Signs will be posted along the fence.

**Project Type:** Remediation

**Project Manager:** Nina Larssen

**Submitted On:** 1/13/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-013 Building 5 Tenant Improvements for Temporary Occupancy**

**Summary** An existing tenant (German School of Silicon Valley, which currently occupies Buildings 4 and 8 Funston) proposes to expand into Building 5. The tenant has requested the immediate use the entire first floor of Building 5 for educational use while they plan the design for the conversion of the remainder of the building from Office Use to an Educational Use. Students using Building 5 would be ages 6-8. Once building upgrades to allow for code compliant use of the first floor are completed, the tenant will be permitted to occupy that space through the end of the 2017 school year. The remaining scope of tenant improvements to permit long-term occupancy of the full building will follow a detailed proposal to be submitted at a later date.

**Project Type:** Rehabilitation/TI

**Project Manager:** Shemaiah Stanton

**Submitted On:** 1/27/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-014 Phytophthora Management Guidelines**

**Summary** The plant pathogen Phytophthora can cause severe damage to landscapes, as has been documented in native trees in Western Australia, stands of manzanita in the Sierra Nevada foothills, and oak woodlands on the California coast. It has recently been recognized as a significant issue in California nurseries growing plants for native habitat restoration, and in native habitat restoration field sites in California. Phytophthora presently exists in many of the Presidio's landscapes, and existing methods to eliminate it from field sites are not reliable or economically feasible. Furthermore, commercial nurseries and plant brokers have been inconsistent in regards to providing Phytophthora-free plants. The purpose of the guidelines is to minimize Phytophthora-associated risks to the character and ecological integrity of the Presidio landscapes. The guidelines identify management practices that allow a tolerance of Phytophthora in some areas of the Presidio while aiming for zero-tolerance in others. The guidelines are based on a recommendation report outlining the risks Phytophthora presents to the Presidio and practices that can be employed to minimize those risks, prepared for the Trust by Laura Sims, Phytophthora expert with the UC Berkeley Forest Pathology Lab.

**Project Type:** IPM

**Project Manager:** Christa Conforti

**Submitted On:** 2/2/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-015 Verizon Cell Site #24 at North MacArthur Tunnel**

**Summary** Verizon Wireless is seeking to improve the coverage and capacity of its network in the Presidio. To this end, the carrier is proposing to construct a new cell site near the north entrance of the MacArthur Tunnel. Without the cell site, Verizon customers will continue to experience dropped calls, poor voice quality and slow download speeds. Also, without consistent wireless coverage it is more difficult to contact emergency services on wireless devices, which have quickly become most people's primary communication source. The proposed project includes replacing an existing multi-carrier 30-foot monopole (Sprint and T-Mobile; project 07-040) with a new multi-carrier 40-foot monopole on a new concrete slab approximately 14 feet south of the existing pole. Verizon's installation will include three panel antennas at a centerline of 38 feet. Sprint and T-Mobile will co-locate below Verizon's antennas. Equipment cabinets will be placed on the new concrete foundation under the highway overpass and enclosed within an 8-foot chain link fence. The existing shelters that house Sprint and T-Mobile equipment will remain unchanged. T-Mobile will continue to co-locate with Verizon at the new cell site under the number T-Mobile #25.

**Project Type:** Cell Sites

**Project Manager:** Steve Carp

**Submitted On:** 2/9/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-016 Emergency Shoring and Stabilization of Building 1390**

**Summary** Building 1390 was constructed in 1941 as a Sunday school to support the adjacent Fort Scott Chapel (building 1389, also built 1941), and is listed as a contributor to the Presidio of San Francisco NHL. The unoccupied single story, wood frame historic building is experiencing moderate to severe structural failure. The project will secure the building's exterior envelope and arrest further deterioration until the building can be fully rehabilitated in the future. The scope of work will include raising and reattaching the subsided exterior wall, leveling the floor, replacing dry rotted framing and roofing members, replacing failed post and piers at the foundation, and installing a new plywood roof sheathing. Structural work will be performed under Trust supervision following recommendations prepared by Tuan & Robinson.

**Project Type:** Miscellaneous

**Project Manager:** John Sweeney

**Submitted On:** 2/2/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**



## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-017 Presidio Golf Course Clubhouse Parking Lot Landscape Rehabilitation**

**Summary** Construction of the Presidio Golf Course clubhouse (building 300) parking lot in 1998 included the planting of Italian Stone pines (*Pinus pinea*) in the parking islands. Over the years, many of the trees have either failed and or have been removed because of hazardous limb structure. This project includes the removal of all but one of the remaining 13 Italian Stone pines to introduce some of the character of the golf course into the parking lot planter islands with new plantings. The Italian Stone pines will be replaced by approximately seven Japanese Black pines (*Pinus thunbergiana*) and drought tolerant shrubs and grasses consistent with Presidio Vegetation Management Plan plant list requirements. A permanent irrigation system will be installed to establish the plants and to provide supplemental water as needed beyond a maximum three-year establishment period. The project will be timed and phased to minimize the impact on golf course visitors. However, parking spaces immediately adjacent to the trees to be removed will be temporarily unavailable during their extraction.

**Project Type:** Landscaping/Site Work

**Project Manager:** Michael Lamb

**Submitted On:** 2/14/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-018 Building 37 Landscape Rehabilitation**

**Summary** The landscape plantings surrounding building 37 (Administrative Office, 1941) have never been augmented during the Trust's management of the Presidio. As the surrounding buildings and landscapes have been rehabilitated, the building's degraded plantings have become more noticeable leading to difficulties in leasing the building and tenant complaints. The project will rehabilitate the plantings to a more acceptable state of completion, add exterior sitting and eating areas for park users, and create plant cover that reduces the amount of maintenance, specifically weeding. A palm tree will be planted just north of the building at Keyes Street to align with the row of palms along Graham Street. The project includes plant removal, minor demolition, irrigation system installation, hardscape additions, site furnishings such as benches, picnic tables and bike racks, and minimal lighting upgrades in the north facing courtyards.

**Project Type:** Landscaping/Site Work

**Project Manager:** Michael Lamb

**Submitted On:** 2/28/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-019 MacArthur-Portola Traffic Calming Improvements**

**Summary** The Trust seeks to make walking to and from the Portola neighborhood, MacArthur Meadow, and Paul Goode Field more comfortable. The improvements at the Portola-MacArthur intersection will add a stop sign on the third approach (westbound MacArthur Avenue), extend the sidewalk along the west side of Portola to MacArthur, install curb ramps, and add a marked crosswalk at the intersection. The added stop sign will force traffic to stop on MacArthur Avenue before entering the Portola residential neighborhood or continuing to the MacArthur or Quarry neighborhoods. The extended sidewalk will complete a small gap in the pedestrian network, and the curb ramps will accommodate persons with mobility challenges as well as strollers. Willows along the south side of MacArthur will be trimmed to improve visibility of pedestrian crossings and associated signage.

**Project Type:** Transportation/Parking

**Project Manager:** Amy Marshall

**Submitted On:** 2/16/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-020 Fort Scott Community Garden Greenhouse Construction**

**Summary** The community garden program grows vegetable seedlings for use in the Presidio's community gardens. For many years, the program used greenhouses and covered frames at the Native Plant Nursery, but these facilities have proven to be neither large nor warm enough for sufficient production. This project is a major step in consolidating a home for the community garden program. The kit greenhouse will measure 8 feet by 15 feet and will be located within the historic footprint of the original 18-foot by 47-foot greenhouse that was built in 1915. The greenhouse will be constructed on a poured concrete pad and made of California redwood and polycarbonate walls. The purchase cost of the greenhouse is covered by a donation from Salesforce.

**Project Type:** Site Furnishings

**Project Manager:** Jean Koch

**Submitted On:** 3/7/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-021 Building 1450 Kitchen and Bathroom Improvements**

**Summary** Trust Grounds staff have occupied building 1450 (Radio Station, 1942) as office space for many years and the building is in need of deferred maintenance. This project includes updates to the bathrooms and rehabilitation of the kitchen. Work in the men's bathroom will include minor plumbing work, replace non-historic plumbing fixtures, install new lighting, and clean historic marble partitions and historic tile floors. The women's bathroom is a later addition to the space without the historic finishes found in the men's bathroom. The women's bathroom will receive new lighting, a new shower door and plumbing fixtures. Work performed in the kitchen will include removal and replacement of the non-historic cabinets, counters, appliances and flooring. The main common areas will receive new paint and carpet.

**Project Type:** Rehabilitation/TI

**Project Manager:** Kevin Lorne

**Submitted On:** 3/13/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-022 Shafter Road Play Area**

**Summary** The Trust wishes to improve both large and small play spaces, with an emphasis on creating play environments that foster interaction with the natural aspects of the park. This project will install a simple double swing in an open area used for play by neighborhood children near garage building 557. The area of the swing will be excavated to a shallow depth so that a 12-inch layer of wood chips could be spread beneath the entire fall zone of the swings. Trust crews will assemble and install the structure. Portions of a large nearby dead Monterey pine that will be removed by Trust crews will be left on site as part of the effort to create a natural play environment if deemed appropriate and safe.

**Project Type:** Recreation

**Project Manager:** Michael Lamb

**Submitted On:** 3/23/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-023 Park Stand Reforestation Phase II**

**Summary** The Monterey cypress stand occurring within the broad loop of Park Boulevard west of the National Cemetery is one of the designated historic forest stands in the Presidio. The Park Stand has unusual visual quality and provides an important visual barrier to the National Cemetery. Trees in the stand are characterized with a very low percentage of live crowns, limiting the vigor of the old trees, and have now reached a state of over maturity. Trees on the windward margins of the stand have been subject to wind throw in recent years, and many leaning trees within the stand present windfall and wind breakage hazards to people using the pedestrian path through the forest. This project is the second of six phases (ending in year 2022) of the removal of the existing trees in the stand and the replanting and early management of the replacement stand. Approximately 35 declining cypress will be removed in a 0.7-acre zone just north of last year's Park Stand Reforestation Phase I project (16-032) in the southernmost portion of the stand. Tree stumps will be ground out or pulled (should Armillaria Root Rot be present), woody roots removed, compost will be added, the soil tilled, and irrigation will be installed. Removed trees will be replaced by approximately 125 seedling Monterey cypress trees. The seedlings will be planted on a 15-foot by 15-foot spacing with rows oriented north-south and east-west to emulate the initial planting by the U.S. Army. After 10 to 15 years, the trees will be thinned to a 30-foot by 30-foot spacing and pruned to prevent the stagnation that is evident in the existing stand. The Park Boulevard Trail through the area will be closed for public safety for the approximately 3-week duration of the tree removal.

**Project Type:** Trees

**Project Manager:** Peter Ehrlich

**Submitted On:** 4/6/2017

**Reviewed on:** 4/13/2017

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-024 Thomas Avenue Tree Replanting and Landscaping Phase I**

**Summary** Tree failures can inflict a heavy toll of damage, as shown by Northern California's January storms, underscoring the need for tree replacement and maintenance. This project will replace Monterey cypress trees proximate to a high voltage line and garages from 327–329 Infantry Terrace in a VMP Landscape Zone. Eleven overstory Monterey cypress trees that were assessed as part of the 2016 Presidio Tree Risk Assessment will be removed. Removal will include understory shrubs and trees such as Blackwood acacia and Star acacia. Coast redwoods will not be removed. Where feasible, well-cured Trust compost will be applied on slopes and behind garages followed by the installation of drip irrigation. Erosion control will include wattle bundles and sterile straw. No stumps will be ground to temporarily increase slope stability until replacement vegetation is established. Trees to be replanted will include Monterey cypress and redwoods uphill away from the garages, powerlines, road and residences and small-stature trees such as Sargent's cypress and Pacific Wax Myrtle nearer to infrastructure. A total of 120 trees will be planted in 0.8-acre zone. Trees will be irrigated for four years and then thinned to a density of 20 to 35 trees. Some broad-leaved trees will be planted near the garages, and groundcover plants will be planted to aid in erosion control.

**Project Type:** Trees

**Project Manager:** Peter Ehrlich

**Submitted On:** 4/6/2017

**Reviewed on:** 4/13/2017

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-025 Storywalk at Mountain Lake**

**Summary** The NPS, Parks Conservancy, the Presidio Trust and the SF Public Library are continuing their partnership that began in the Centennial year to 2017's Summer Stride Reading Program. The partnership, along with this year's additional partner Chronicle Books (celebrating their 50th Anniversary), involves a variety of exhibits and events with the goal of connecting library audiences with their nearby national parks. This project features a "Storywalk," developed and popularized in New England, using a thematic children's picture book in which pages are placed temporarily along the edge of a trail, approximately ten paces apart. Visitors are not only invited to stop and read the story, but also take a closer look and listen to their surroundings. The Presidio's Storywalk will occur along Mountain Lake Trail around the periphery of Mountain Lake. A total of 16 23-inch by 13-inch panels will be installed along the trail beginning at the new playground. The panels will be integrated into the space depending on site needs, attached to logs and placed in the ground beside existing fence posts, or attached to the existing fence. The panels will be designed to be temporary, easily installed and removed, and with minimal impact to the site. The Storywalk will commence in early June and end in September.

**Project Type:** Miscellaneous

**Project Manager:** Damien Raffa

**Submitted On:** 4/17/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

**17-026 Post Chapel (Building 130) Site Improvements**

**Summary** Pavement improvements to the 1970's era patio and lawn enhancements on the east side of the Post Chapel (building 130) are needed for accessibility and special events. The work includes adding an accessible curb cut ramp at the start of the patio path, replacing the path to eliminate a tripping hazard at the path/patio interface, adding earth fill to level the lawn, and plantings. An interpretive wayside panel and concrete pad approved under project CR15-046 will be relocated from the front of the chapel to just east of the building near the base of the bell tower.

**Project Type:** Landscaping/Site Work

**Project Manager:** Michael Lamb

**Submitted On:** 4/19/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-027 Artists Draw Birds in the Park Event**

**Summary** On July 8th, as part of the celebration of the Golden Gate Audubon Society's 100th anniversary, approximately 32 Bay Area nature artists will create sidewalk chalk art featuring birds of the Presidio. Artists will work throughout the Main Post and Tennessee Hollow Watershed. Chalk will be the only medium used in the ephemeral sidewalk drawings. All of the drawings will be on concrete.

**Project Type:** Special Events

**Project Manager:** Amy Deck

**Submitted On:** 4/28/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

**17-028 Arguello Boulevard Water Main Replacement**

**Summary** This project will upgrade a water distribution main providing flow into the south quadrant of the Main Post. The project is needed to replace aging cast iron pipes and increase flow performance in the distribution network. Approximately 1,000 feet of new water main from the intersection of Thomas Avenue and Sibert Loop, north on Arguello Boulevard to the existing pressure reducing station in the historic forest west of Arguello will be constructed. Approximately 500 feet of existing water main from the same pressure reducing station to the intersection of Arguello and Moraga will be replaced. Approximately 850 feet of existing cast iron water main from Thomas Avenue near Building 328 to the pressure reducing station will be removed from service. Existing building water services to the new main will be reconnected. The water main will be constructed by typical open cut excavation methods. Staging of material and equipment will occur in a 20-foot by 60-foot area in the parking lot at 130 Fischer Loop. Archaeological monitoring, historic resources mitigation, tree protection, traffic controls, neighborhood notice and processing of excavated soils are part of the project.

**Project Type:** Infrastructure

**Project Manager:** Veronica Aguirre

**Submitted On:** 5/1/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-029 L2 Outfall Repair**

**Summary** During the original 1999 Crissy Field project, the L2 Outfall pipe along the shoreline improvement area of the current NPS Centennial Promenade project was replaced with an undersized corrugated metal pipe. The pipe end deteriorated in the saltwater environment over time and existing rip rap that was not sized for the wave climate at this location blocked pipe flow. This blockage caused water pressure to build up to the point where a manhole lid upstream was lifted and flooding occurred in the West Bluff parking lot. This project will repair and replace a portion of the storm drain outlet pipe. A 20-foot section of 42-inch diameter concrete pipe will be installed to replace the damaged portion of the pipe and restore it to the same 42-inch diameter as the original pipe. The remaining portion of the damaged pipe will be removed and a precast concrete manhole will be installed to attach the replacement pipe (concrete pipe) to the end of the existing 42-inch pipe. The manhole and most of the pipe will be covered with rip rap that will be replaced consistent with the NPS Centennial Promenade project shoreline improvement plans and sized for the wave climate. The end of the pipe will project just beyond the face of the rip rap to allow unimpeded storm water drainage and will have a flap gate installed to minimize the amount of sand that can be washed into the pipe. All work will be performed at low tides and with land-based equipment operating from the shore (upland location) only. The contractor will implement Best Management Practices (BMPs) and monitoring measures as directed in a Storm Water Pollution Prevention Plan (SWPPP) to prevent runoff of sediment or sediment-laden water from the site into the Bay.

**Project Type:** Infrastructure

**Project Manager:** Veronica Aguirre

**Submitted On:** 5/10/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**



## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-030 Lower Quarry Tree Removal and Habitat Enhancement**

**Summary** Over the past 20 years, the Trust has enhanced and restored habitat throughout Inspiration Point and El Polín Spring. The 1.5-acre project site exists within a VMP Native Plant Community Zone and currently consists of two distinct areas. The eastern area is underlain by Colma formation sandstone soils with vegetation dominated by aging and dying Monterey pine and cypress trees. Substantial cover of desirable native trees and shrubs, including coast live oak and Toyon, currently exists as an understory. The western area is serpentine grassland dominated by invasive annual grasses and several large and dying Monterey pines. This project will remove approximately 25 dying Monterey pine and cypress trees and 10 acacias and restore the site to an oak woodland and serpentine grassland. Desirable native understory species will be protected during tree removal. Following tree removal and stump grinding, exotic invasive annual grasses and perennial shrubs will be controlled after initial germination by a combination of tarping, herbicide and hand removal. Approximately 3,000 native plants consisting of about 40 species will be planted. Revegetation activities will be performed consistent with the Revegetation Plan prepared for the site. The Lower Ecology Trail and the Connector Trail between the Ecology Trail and El Polín Spring will be closed intermittently during tree removal and will be protected with 1-inch thick plywood.

**Project Type:** Vegetation Restoration

**Project Manager:** Lew Stringer

**Submitted On:** 5/19/2017

**Reviewed on:**

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-031 Bicycle Rack Installation Presidio-Wide**

**Summary** The Trust aims to reduce air pollution in the Bay Area by supporting clean, alternative modes of transportation. This project will expand the availability of secure bicycle parking in the Presidio by installing 27 donated bicycle racks courtesy of the Bay Area Air Quality Management District. The locations of the bicycle racks have been prioritized based on input from tenants (e.g., YMCA/YBike) and regular volunteers, staff observations, and San Francisco Bicycle Coalition requests. Depending on existing facilities at each of the locations, the racks may be bolted to existing concrete pads or a new pad may be constructed for the rack. Trust masons will complete the installations.

**Project Type:** Site Furnishings

**Project Manager:** Kristin Maravilla

**Submitted On:** 5/25/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-032 Cape-ivy Gall Fly Release at Mountain Lake**

**Summary** Cape-ivy (*Delairea odorata*), referred to by the GGNRA as the California coast's "biggest and baddest weed", is common in the Presidio. This fast growing invasive plant can rapidly dominate and smother native vegetation, thus causing drastic alterations to ecosystems where it is present. Control and/or removal of this plant is difficult and time consuming, and herbicide control methods often damage many non-target species. The USDA has recently granted permission for the release of the Cape-ivy shoot-tip galling fly (*Parafreutreta regalis*) in California. This small Tephritid fly attacks the elongating shoot tips of the plant. Research shows that Cape-ivy plants attacked by the fly show large reductions in growth and biomass. Host range testing of the fly against more than 100 different native and agricultural plant species showed that the fly only attacked Cape-ivy. The USDA will release the fly at the East Arm of Mountain Lake in an attempt to get the fly established and to study its impact on Cape-ivy infestations. Once established, it is believed this insect will cause significant reductions to Cape-ivy coverage in areas where the fly is present.

**Project Type:** IPM

**Project Manager:** Christa Conforti

**Submitted On:** 6/1/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-033 Additional Parking Signs on Sumner Street**

**Summary** Sumner Street, located on the back side of the Presidio Terrace residences, has posted parking regulations requiring a residential "Zone B" parking permit to be displayed at all times. Sumner Street has a mix of unassigned parking areas and tenant-assigned garage parking. Tenants have repeatedly complained that cars, with and without Zone B parking permits, have parked in front of their designated garages, preventing access to their vehicles. To help address this issue, additional parking regulation signs will be installed and the drive-ways in front of the garages will be labelled with stenciling. Trust staff will install one sign on the rain downspouts of each garage (buildings 552 – 557). The corresponding spaces in front of the garages will be stenciled "Reserved - Unit #" to prevent those with Zone B parking permits from parking in their neighbor's space. Similar stenciling can be seen in other residential neighborhoods like MacArthur Avenue. A total of 20 parking spaces will be labelled.

**Project Type:** Transportation/Parking

**Project Manager:** Emily Beaulac

**Submitted On:** 6/5/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-034 Thornburgh Building Stabilization Phase III**

**Summary** The buildings within the Thornburgh area historically functioned as the “back of house” operations for the Letterman Army Hospital (first constructed in 1899). Today, the buildings remain largely unoccupied. The project concludes exterior envelope repairs started in 2015 (project 15-052) and 2016 (16-002) to address deferred maintenance. The two remaining buildings are 1050 (Psychopathic Ward, 1918) and 1051 (Detention Ward, 1909). The scope of work includes concrete spall repairs, painting, roof repairs and partial roof replacement.

**Project Type:** Maintenance

**Project Manager:** Christina Wallace

**Submitted On:** 6/8/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

**17-035 Liggett Avenue Connector Walk**

**Summary** The section of Liggett Avenue between Sumner Avenue and Lovers Lane is an important vehicle and pedestrian connection from Presidio Boulevard into the East Housing area. The road does not have sidewalks on either side and immediately adjacent to the curb lines are slopes or narrow shoulders such that most pedestrians choose to walk in the roadway. This project will add a code compliant sidewalk along the western side of the road allowing for pedestrians to safely traverse the area from Lovers Lane to the existing sidewalk in front of residential building 540. Two mature eucalyptus trees will be removed.

**Project Type:** Transportation/Parking

**Project Manager:** Michael Lamb

**Submitted On:** 7/14/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

**17-036 Soil Remediation at Building 127B**

**Summary** This project will perform soil remediation beneath the basement slab of residential unit 127B (residential duplex, 1931) to address contaminated soil caused by an abandoned fuel line. Trust staff discovered the contaminated soil when performing corrective maintenance to address on-going flooding caused by a low water table. The project scope will include removal of the basement slab and contaminated soil, installation of a sub-slab vapor collection system, a new concrete floor and installation of a new trench drain and sub-pump to address future flooding.

**Project Type:** Remediation

**Project Manager:** Nina Larssen

**Submitted On:** 6/28/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-037 Potting Soil Steaming at Presidio Plant Nursery**

**Summary** The Presidio Native Plant Nursery grows up to 80,000 plants per year. To prevent infection from the plant pathogen Phytopthera, all potting soil must be disinfected by raising the temperature to over 140 degrees F for at least 30 minutes. Efforts have been successful at disinfection using one-yard steam boxes and a modified steam pipeline in the back of a dump truck. However, these systems are inefficient and require heavy physical exertion to nursery staff. A steamer cart will allow larger volumes of soil to be steamed and will greatly reduce the manual labor involved in moving soil. The steamer cart and a 20 hp oil-fired boiler will occupy two paved parking spots at the Presidio Native Plant Nursery. The boiler will heat water and pump steam into the cart, which will then become the stockpile for pathogen-free soil. Nursery staff will remove soil from the cart using wheel barrows and transport to potting tables nearby. Only trained employees will operate the boiler and steamer cart. The boiler is exempt from BAAQMD Regulation 9-7.

**Project Type:** IPM

**Project Manager:** Brian Hildebidle

**Submitted On:** 7/12/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-038 Employee and Volunteer Memorial Bench at Wayburn Grove**

**Summary** The Presidio Trust employee and volunteer memorial bench and garden is envisioned as a place Trust staff and volunteers can visit on their own to remember their colleagues who have died while in Presidio service, and where a small gathering could be held in honor of an employee who has died. The site is located in an existing designed landscape area located near Wayburn Grove, northwest of the Lincoln Blvd. and Girard Rd. intersection. The work includes replacing two existing teak benches with two log benches, installing a plaque on one of the benches and replanting the small island in front of the benches and the slope behind.

**Project Type:** Landscaping/Site Work

**Project Manager:** Kristin Maravilla

**Submitted On:** 7/17/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-039 Lendrum ADL Area Remediation**

**Summary** The Lendrum aerially-deposited lead (ADL) area was discovered during remedial investigation of the Lendrum Court Remediation site (project 14-042). Although debris and ash were not observed in this area, elevated lead above the human health screening level of 80mg/kg is present in soil to a depth of 2.5 feet below ground surface. Prior to mobilization, a cypress tree in the remediation area as well as some of the larger shrubs will be removed. Lead-impacted soil will then be excavated and disposed of at a permitted off-site waste facility. The excavation will be backfilled with clean native soil generated from restoration of the MacArthur Meadow wetland (project 15-002). A 5-foot earthen berm will be built once backfill is complete. Irrigation and planting will be part of the restoration effort.

**Project Type:** Remediation

**Project Manager:** Nina Larssen

**Submitted On:** 7/17/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-040 13th Tee Expansion at the Presidio Golf Course**

**Summary** The project will create another teeing surface and expand the yardage of the 13th Tee using residual soil from the MacArthur Meadow wetland restoration (Project 15-002) stored near the hole. The work will include shaping the remaining soils and adding irrigation. The teeing area will be sodded for more immediate use and the slopes will be hydro-seeded with a no mow fescue blend identical to what is in use on other areas inside the course. No native species will be affected.

**Project Type:** Golf Course

**Project Manager:** Brian Nettz

**Submitted On:** 7/24/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-041 Driving Range Improvements at the Presidio Golf Course**

**Summary** Poor drainage within the driving range requires the range to be mechanically picked in the winter months. The project will raise the grade of a roughly ½-acre area at the lower end of the driving range about 14 inches with 800 tons of sand, resulting in reduced labor expenses and range closures. Following grading, sprinkler heads will be replaced and the area will be hydro-seeded.

**Project Type:** Landscaping/Site Work

**Project Manager:** Brian Nettz

**Submitted On:** 7/24/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-042 Building 5 Phase II Tenant Improvements for Educational Use**

**Summary** The project will complete necessary occupancy requirements at building 5 (Officers' Housing, 1862) for the German School of Silicon Valley. Previously the tenant performed minor upgrades to accommodate temporary school occupancy for the remainder of the school year (project 17-013). This work will expand upon that scope and include the opening of a previously sealed doorway on the second floor, connecting the north and south halves of the building, and the installation of metal guardrails in front of a code-deficient stair balustrade. The project will also include the construction of a wood ramp at the rear of the building to accommodate ADA access.

**Project Type:** Rehabilitation/TI

**Project Manager:** Shemaiah Stanton

**Submitted On:** 7/28/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-043 Quarters 1 Security Measures**

**Summary** Quarters 1 is an occupied NHL-contributing residential building (built 1943) on Upper Simonds Loop. The residents have recently experienced break-ins at the main residence and the adjacent garage/in-law unit, which dates to 2007 (project 07-014). In response, the residents will add a new metal security fence to the top of the historic concrete wall at the rear of the property, and a new glass railing at the top of the non-historic in-law unit.

**Project Type:** Landscaping/Site Work

**Project Manager:** Michael Lamb

**Submitted On:** 7/27/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-044 West Washington Residential Window Replacement**

**Summary** The West Washington residential units (1401-1443) are an NHL-noncontributing neighborhood of multi-family buildings clustered on Washington Boulevard and Battery Caulfield Road. The aluminum windows in the units have reached the end of their serviceable life and are failing, causing moisture infiltration, mold and difficulty of operation. After evaluating several alternatives, the Trust determined that the most cost-effective, environmentally sustainable and easy to maintain replacement window is a weatherized white vinyl slider. This project will replace all windows in the neighborhood as a pilot to determine how the new windows will perform. Future window replacements at similar units in the Presidio will be evaluated based on the performance of the window type and appropriateness vis-à-vis building contributing or non-contributing status.

**Project Type:** Rehabilitation/TI

**Project Manager:** Jerry Healy

**Submitted On:** 7/21/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-045 Footpath behind Building 44 to Ecology Trail**

**Summary** The education programs in buildings 49 and 50 occasionally take groups of school children from their facility up to the Ecology Trail. The most direct and car-free connection is a social trail up the slope between buildings 44 and 47. The trail behind building 47 becomes very steep as it passes over a storm water berm. The trail can be very slippery, especially during the wet months, resulting in accidents going up and down the slope. This project realigns the trail and avoids the steep slope by running in back of building 44 and then diagonally up the hill to the Ecology Trail. The trail will be no wider than a few feet, and will be either bare earth or woodchips. A small number of volunteer acacias will be removed and some low hanging branches of nearby trees will be pruned prior to construction.

**Project Type:** Recreation

**Project Manager:** Michael Lamb

**Submitted On:** 8/16/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-046 New Lab Shed at Presidio Plant Nursery**

**Summary** The Trust currently uses space in an existing building at the Native Plant Nursery to conduct lab tests for pathogens. Staff wish to conduct the testing in a separate space with lighting and a sink. This project will install a pre-fabricated 10-foot by 16-foot shed for use as a lab at the south end of the nursery. The shed will be placed on a poured concrete slab, will be sustainably built of green materials (FSC certified lumber, mixed-source recycled metal and materials throughout, optimized prefabricated production) and will meet Trust building codes.

**Project Type:** Miscellaneous

**Project Manager:** Christa Conforti

**Submitted On:** 8/4/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**



## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**17-047 Gorgas Avenue Warehouses and Administration Building Rehabilitation**

**Summary** This project will rehabilitate and convert three NHL-contributing warehouses (1163, 1167 and 1170, built 1919) and an administration building (1160, built 1940) to a “warm shell” leasable office use. The buildings are situated in a row of six mostly identical structures constructed concurrently as a warehouse complex aligned with Gorgas Avenue at the eastern boundary of the Letterman district. Three of the six buildings in the complex were rehabilitated by the Trust/tenants in 2002-2004 and are occupied by various similar uses (fitness, health and wellness and office). The original floor plans for 1163, 1167 and 1170 were open plan warehouse; 1160 differs and was constructed as an administrative office. The buildings have undergone some alterations that have added partitions and/or connections to adjacent buildings to facilitate U.S. Army storage and office uses. With the exception of occasional use, the buildings have been mostly vacant since 1994.

The buildings are all one-story, wood-frame structures on post/beam/pier foundations that require structural strengthening to meet the applicable codes. All of the existing plumbing, electrical, heating, fire alarm and life-safety systems are deficient and must be upgraded or replaced to meet use requirements and Trust standards. New window and skylight openings will re-establish existing openings that were covered over during the U.S. Army era, and allow for additional natural light in select areas. The rehabilitation approach retains all interior and exterior character defining features, and new elements (building systems, common area cores, restrooms, exterior ramps and circulation elements) are compatibly designed, consistent with the Secretary of the Interior’s Standards for Rehabilitation. Some building-specific site development, landscape, civil, site amenities and site lighting improvements will be reviewed as a separate project at a later date based on a master site plan developed for the larger Gorgas complex. The design provides for full accommodation per the ADA, and the rehabilitation aims to achieve LEED-NC certification for the core and shell (minimum: silver). The overall base building design and construction will result in fully rehabilitated and occupiable warm shell buildings with common core(s) and systems suitable for public, office, adult education, and health and fitness uses consistent with Presidio Trust land use planning, current applicable building codes and standards, and market factors. Tenant specific improvements to follow to accommodate the future tenants will be subject to N2 review.

**Project Type:** Rehabilitation/Base Bldg

**Project Manager:** Rob Wallace

**Submitted On:** 8/16/2017

**Reviewed on:** 8/31/2017

**Certificate of Compliance Issued**



## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-048 Portal Temporary Art Installation**

**Summary** Portals is an ongoing global project created by Shared Studios, an art and technology collaborative organization. A Portal is a repurposed shipping container, painted gold and equipped with audiovisual immersive technology, enabling users to come face to face with another Portal user in one of over 20 locations in 11 countries. Portals are facilitated by a curator and translator, and the goal of the experience is to encourage park users to think about the park in comparison to other places where Portals are located and to experience the Presidio as a space to explore new cultures and ideas. This project will reinstall the Portal currently at Crissy Field to Pershing Square for a one-month period beginning late September. The Portal will be powered by a solar unit (courtesy of Luminalt) and back-up generator, and will be connected to the internet via a separate internet service unit. Visitation will be scheduled through a free reservation system, with walk ups managed by the curator. Only 10 people will be permitted in the Portal at a time and each session will last 20 minutes. The Portal will have an accessible ramp. Hours of operation will vary depending upon time zone/program at other sites.

**Project Type:** Miscellaneous

**Project Manager:** Sarah Katz-Hyman

**Submitted On:** 8/18/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-049 Playgroup Site (Buildings 1818-1819) Storm Drainage Improvements**

**Summary** The storms of the last two winters have proved that the soil on the north side of rehabilitated building 1819 (project 14-029) percolate very poorly. The yard drains in the playground back up and pond, and it appears that the ground on the north and east sides of the building becomes saturated and contributes to the leakage through the foundation walls and into the basement offices. This drainage improvement project will install a solid wall 6-inch PVC storm drain pipe that will allow an existing 6-inch perforated infiltration pipe to drain directly into a combined sewer/storm drain manhole. Other improvements include installing a sump pump in the basement floor, waterproofing the north side of the building, replacing planters that have been trampled by children with decomposed granite, adding pavers, and filling in a small area with concrete to match the existing concrete sidewalk.

**Project Type:** Infrastructure

**Project Manager:** Shemaiah Stanton

**Submitted On:** 8/14/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **17-050 Building 86 Suite 200 Minor Tenant Improvements**

**Summary** The existing tenant of suite 200, building 86 (former barracks building, built 1862) will make minor improvements to accommodate its changing needs. The scope includes the removal of non-historic finishes, walls and light fixtures. Additional work items include the construction of a closet, selective window replacement, selective new data and power floor monuments, and replacement of the existing HVAC system using existing penetrations.

**Project Type:** Rehabilitation/TI

**Project Manager:** Aaron Klang

**Submitted On:** 8/16/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **17-051 FDS Section BR11-1 Investigation & Remediation**

**Summary** In May 2017, a leaking fuel line was discovered during building maintenance beneath the concrete slab in the basement of building 127B Riley Avenue (project 17-036). It was determined that it was an abandoned-in-place subsurface portion of the former fuel distribution system (FDS) Section BR11-1, which supplied fuel to the residential buildings 127A/B, 128A/B and 129A/B on the west side of Riley Avenue. Per the Presidio-wide Petroleum Contingency Plan, the fuel pipe and its contents were removed and impacted soil was excavated to the extent feasible. Sampling indicates that soil contaminated with total petroleum hydrocarbons as diesel and naphthalene remains in place beneath a majority of the basement slab and to a minimum depth of 7 feet below the slab. This project will further investigate impacts of the leaking FDS line in building 127B and conduct an indoor air assessment at the other units served by Section BR11-1. Tasks include: 1) interior basement soil and groundwater sampling (to a maximum depth of 30 feet) at building 127B to assess the vertical and lateral extent of soil contamination and possible impacts to groundwater; and 2) sub-slab vapor sampling at buildings 127A, 128A/B and 129A/B to assess if similar releases exists at these units and to evaluate vapor intrusion risk. Following vapor sample results, if necessary, indoor air sampling will be conducted as quickly as possible. If sample results indicate mitigation measures may be necessary, the Trust will prepare a remedial design and implement remedial action as quickly as possible. Buildings 127B and 128A remain vacant until further assessment and additional remediation, if needed, confirms indoor air does not pose a health hazard.

**Project Type:** Remediation

**Project Manager:** Nina Larssen

**Submitted On:** 9/13/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **18-001 Building 1243 Tenant Improvements**

**Summary** The south end of the building 1243 (warehouse, built 1941) was previously used as office space but does not meet current code. Minor improvements will be made to the building in order to relocate Trust Special Events staff from building 1163 Gorgas Avenue. The majority of the new space will be used as warehouse storage for furniture, signage and other items used for event space rentals at the Presidio. The project scope includes new flooring, paint, fire/life/safety improvements, electrical work and plumbing. Work is expected to be completed by the end of November.

**Project Type:** Rehabilitation/TI

**Project Manager:** Shemaiah Stanton

**Submitted On:** 10/4/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **18-002 Building 97 Minor Tenant Improvements**

**Summary** Recently vacated Building 97 (Red Cross Headquarters, built 1941) has been used for offices and needs updating for a new tenant. Exterior work will include painting and new gutters and downspouts. Four non-historic aluminum windows on the south elevation will also be replaced with wood casement windows to match the existing historic windows. All other windows are original to the building and in good condition. Interior work will include painting, new flooring throughout (carpet and tile), new LED bulbs, new kitchen counter and removal of three non-historic partitions. All work is expected to be complete by the end of October.

**Project Type:** Rehabilitation/TI

**Project Manager:** Kevin Lorne

**Submitted On:** 10/5/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **18-003 West Pacific Avenue Drainage Upgrades**

**Summary** This project will improve drainage conditions along West Pacific Avenue between Walnut Street and Laurel Street and protect the new drain inlet/storm water system constructed for the Paul Goode Field renovation (project 15-023). A shallow (approximately 5-inch) 400-foot long trench will be excavated and drain rock/perforated pipe will be installed. The finished surface will include a new paved runnel adjacent to the existing roadway, and a compacted permeable aggregate base surface between the runnel and the historic boundary wall. Plywood sheathing suspended from the top of the wall will protect the park-facing surface during construction, and the compacted drain rock will be set back from the wall to accommodate the irregular surface and avoid damage.

**Project Type:** Landscaping/Site Work

**Project Manager:** Glen Angell

**Submitted On:** 10/17/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**18-004 Building 1332 Addition and Site Improvements**

**Summary** The residential tenant at Building 1332 (General's House, built 1943), located on Wright Loop in an area south of the Kobbe residential neighborhood, proposes to construct a new approximately 790 square-foot rear addition (southeast corner) to the historic structure and make minor exterior improvements. The new addition is a one-story steel, wood and glass addition located just south of the living room and includes areas designated for lounging, dining and playing. The proposed addition has been positioned and designed to minimize impacts to the historic structure and limit visibility from the public. The proposed exterior improvements include repaving of the existing concrete patio, replacement of a non-historic brick walkway with a new paved walkway off the addition, new lighting, a small trash receptacle enclosure near the garage, and new plantings and irrigation adjacent to the new addition. The building addition represents a new element in the landscape that is intended to be subordinate to, and contemporary and compatible with, the structure, while also being fully reversible. The patio improvements retain the original configuration while modifying the existing steps and patio surface to accommodate revised circulation and level changes and improve a concrete slab in poor condition.

**Project Type:** Rehabilitation/TI

**Project Manager:** Rob Wallace

**Submitted On:** 10/19/2017

**Reviewed on:** 10/26/2017

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

**18-005 Greenwich Gate Re-Opening and Presidio Promenade Trail Extension**

**Summary** Much of the 2.1-mile Presidio Promenade multi-use trail connecting the Golden Gate Bridge to the Greenwich Gate has been completed as envisioned in the 2003 Presidio Trails and Bikeways Master Plan. The 535 feet east of the Letterman/Lombard intersection is one of the few remaining segments. This project will create a new gate for pedestrians and bicyclists at Greenwich Street and build the easternmost 535 feet of the multi-use trail. The project is anticipated to improve safety and convenience for pedestrians, cyclists and motor vehicle drivers. Pedestrians entering or leaving the Presidio through the Greenwich Gate will experience fewer conflicts with vehicles compared to the Lombard Gate. The new gate will also be more direct for Presidio residents, visitors and employees walking to/from the MUNI 41 and 45 routes, which terminate on Lyon Street immediately south of Greenwich Street. Cyclists could enter the Presidio directly from San Francisco Bike Route 6 on Greenwich Street. Reduced pedestrian and bicyclist traffic at the Lombard/Lyon intersection at the Lombard Gate will improve the operation of the all-way stop intersection for both vehicular traffic and transit (PresidiGo and MUNI 43).

The gate will reestablish an opening in the wall at Greenwich Street that existed 1892-1950, but at approximately half the width of the 26-foot wide historic opening. The gate opening will be just wide enough to accommodate a 10-foot wide path with 2-foot wide shoulders. The project will also include crosswalks and other crossing improvements at Ruger Street and Letterman Drive, retaining walls at the gate and along Lombard Street near Letterman Drive, lighting, signage, striping and access controls, irrigation system upgrades, and landscaping. Five trees will be removed. The project has received extensive public and city input to date.

**Project Type:** Landscaping/Site Work

**Project Manager:** Kristin Maravilla

**Submitted On:** 11/8/2017

**Reviewed on:** 11/16/2017

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **18-006 Presidio Wireless Live-Stream Raptor Nest Camera**

**Summary** Conservation of the environment relies heavily on public support, which is driven by education and engagement. Sharing natural phenomena with the public responsibly can be challenging as the protection of the resource takes precedent. Live-stream wireless nest cameras provide a means of responsibly sharing sensitive events publicly that would otherwise remain unseen and unappreciated. Additionally, nest cameras provide an opportunity to gather meaningful data of bird nesting behavior, chick survival, etc. This project will install a wireless camera strategically placed to observe a red-tailed hawk nest up a eucalyptus tree near the intersection of Infantry Terrace and Thomas Avenue. The camera is fully controlled (pan/tilt/zoom) remotely, equipped with infra-red, and will function 24/7. Real-time footage will be streamed via YouTube live, freely available, for viewing on different outlets such as Trust social media/website, local schools, and the Presidio Visitor Center. The camera will require the installation of a receiving wireless antennae inside building 41.

**Project Type:** Research/Testing

**Project Manager:** Jonathan Young

**Submitted On:** 11/8/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **18-007 Art Exhibit at Building 649**

**Summary** Building 649 (US Army Reserve Center, built 1951) will be used for a temporary art exhibit featuring artist María Magdalena Campos-Pons. The exhibit will be located on the first floor large gymnasium space. Access to the basement and restroom facilities will be prohibited. The exhibition will use free-standing furniture, lighting and signage to supplement existing infrastructure. Portable toilets will be onsite for the duration. The exhibit is expected to operate Thursday to Sunday. Parking will be on a first come, first serve basis.

**Project Type:** Special Events

**Project Manager:** Christie Schantz

**Submitted On:** 11/21/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

## ***List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1***

### **Project Number Title**

#### **18-008 Upper Simonds Loop Concrete Walkway Repairs**

**Summary** Concrete repairs to the walkways, landings and sidewalks around five Upper Simonds Loop duplexes (510 – 514) are needed to address uneven walking surfaces. The concrete elements around these buildings are original to the construction of the homes, dating from 1940 as part of a Works Progress Administration project. Front step landings along with concrete walkways at the side and rear elevations will be removed and replaced in-kind to eliminate tripping hazards. This work will include necessary grading, dowels and rebar to prevent future settling of the new concrete, and installing curb ramps for accessibility along the public sidewalks in front of the units.

**Project Type:** Landscaping/Site Work

**Project Manager:** Greg Sychoff

**Submitted On:** 11/20/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **18-009 Pop Hicks Field Wetland Delineation**

**Summary** This project will evaluate and if present delineate wetlands and streams within the Pop Hicks Field site. The purpose of the project is to help facilitate lease negotiations and to help ensure that any future development conforms with regulatory requirements, including those with the U.S. Army Corps of Engineers (Corps) and California Department of Fish and Wildlife. If jurisdictional wetlands are located, a preliminary wetland delineation report will be prepared and submitted to the Corps and other permitting agencies in order to establish the boundaries of Waters of the United States and Waters of the State in the site.

**Project Type:** Research/Testing

**Project Manager:** Nina Larssen

**Submitted On:** 11/13/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

### **Project Number Title**

#### **18-010 Installation of Barn Owl Boxes at Fort Scott**

**Summary** This project attempts to reduce pest problems by attracting more rodent predators to the Presidio. Two barn owl boxes will be installed in the Fort Scott neighborhood. The boxes will be made of unpainted wood and to the specifications recommended by the Hungry Owl Project (Marin, CA). The boxes will be monitored for establishment of owl nesting, and if nesting does occur, barn owl feeding habits will be observed, and any reduction in rodent-related complaints from neighborhood tenants will be noted. Evidence from barn owl diet and work order patterns will be used to determine if barn owl boxes are an appropriate addition to the rodent control work already being done by the Trust's integrated pest management (IPM) program.

**Project Type:** IPM

**Project Manager:** Christa Conforti

**Submitted On:** 12/5/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**

*List of Projects Reviewed Though the N2 Process Under Stipulation IV.C.1*

**Project Number   Title**

**18-011   Additional Security Measures at Quarters 1**

**Summary** NHLD-contributing Quarters 1 (built 1943) is set back from Simonds Loop, surrounded on two sides by dense and extensive vegetation, and adjacent to the city. This setting warrants additional security measures beyond those constructed last year (project 17-043) to deter would-be intruders. The project will install a short (approximately 200 feet) section of 6-foot high, black vinyl coated, chain link fence along the western perimeter of the residence. The intent is to eliminate the easy passage from Shafter Road into the area in front of the guesthouse/garage by forcing pedestrians down toward the more public areas viewable from Simonds Loop before they are able to approach the home. As little vegetation will be removed as possible, though one downed tree may have to be cut back to accommodate the installation.

**Project Type:** Landscaping/Site Work

**Project Manager:** Michael Lamb

**Submitted On:** 12/12/2017

**Reviewed on:** Administrative Review

**Certificate of Compliance Issued**





In 2017, Trust archaeology staff provided NHPA compliance support for ongoing Trust operations, conducted elective archaeological research, and provided ongoing care and maintenance of previously excavated collections. This summary outlines Trust archaeology's actions in compliance with the NHPA, including a summary of archaeological monitoring and identification completed. This report also outlines archaeologically-focused activities of the broader Heritage Program, which includes exhibition, public programs, research, collections management, education and training.

### **Archaeological Management Assessments, Identification, and Monitoring**

Archaeology staff worked with Presidio Trust planning staff and cultural resource consultants to support several projects within the Presidio in 2017. No Archaeological Management Assessments (AMA) or Archaeological Monitoring Plans (AMP) were issued in 2017. One Archaeological Identification Plan (AIP) was completed for the Building 105 rehabilitation project; it is attached (Appendix F).

Archaeology staff directly provided archaeological monitoring support for nine projects in the Presidio in 2017. Staff archaeologists monitored grading for placement of a shallow concrete pad within *El Presidio de San Francisco*, trenching for utility upgrades for the Presidio Visitors' Center, PG&E work at the intersection of Halleck and Lincoln, erosion repair work on the west bank of Mountain Lake, utility trenching south of Buildings 1182, 1183 and 1884, utilities potholing for the design of the Quartermaster Culverts on Old Mason Street, shallow trenching for the installation of rodent barriers at Building 37, a PG&E bell hole trench excavation at 14<sup>th</sup> Avenue and Wedemeyer Street, and all ground disturbing activities for the Building 105 rehabilitation project until February 2017.

In February 2017, *in situ* human remains were discovered by Trust staff during archaeological monitoring of the Building 105 rehabilitation project (Project). The archaeologist directed that all ground disturbing construction activity at the Project site stop. Trust archaeology staff then covered the exposed burial with a fabric cover and had it enclosed within a locked security structure complete. The Trust prepared a Native American Graves Protection and Repatriation Act (NAGPRA) Plan of Action (POA) in March 2017. Pursuant to the POA and the Programmatic Agreement, an Archaeological Identification Plan (AIP) was completed in April 2017. Pacific Legacy, Inc. was contracted to complete the identification testing and associated monitoring to ensure that any additional human remains would be avoided by the Project. The POA and AIP are attached (Appendix F) and a report of identification testing and monitoring is expected in 2018. No human remains were curated by the Trust as part of the Project and the rehabilitation project was successfully redesigned to avoid disturbing any additional human burials. Please see Exhibit G for additional information on the discovery and the Trust's actions under the NAGPRA.

All other archaeological material recovered from the Presidio is permanently curated in the on-site federal curation facility, which meets the requirements of a curation facility as



described in 36 CFR Part 79 – Curation of Federally-Owned and Administered Archeological Collections.

### **Archaeological Research and Project Highlights**

Archaeological research in 2017 focused on *El Presidio de San Francisco*, the Spanish-colonial archaeological site and a contributing area of the Presidio NHL. El Presidio Archaeological Identification Season 2017: (ELPAIS 2017) is part of a long-term research project on Pershing Square in the Presidio's Main Post. The project follows the finalization of *Levantar* the Archaeological Management Plan for *El Presidio* in 2012, which details the management approach and archaeological methods involved for work at *El Presidio*, consistent with Stipulation II.H of the Programmatic Agreement for the Main Post Update (2010).



Trust Heritage Technician Edward DeHaro explains archaeological fieldwork at Pershing Square associated with *El Presidio* to park visitors.

Excavation was concentrated in an area where Spanish and Mexican adobe structures were repurposed by the US Army until their eventual demolition in 1906. Investigations were conducted by Trust archaeology staff, a team of interns who received on-the-job training as part of the project, and volunteers who assisted in field and laboratory processing. One hundred ten (110) regular volunteers contributed more than 600 hours to the project. The investigations took place on Thursdays, Fridays and Saturdays between May and October 2017. A full report of ELPAIS 2017 is underway and will be completed in early 2018.

ELPAIS 2017 was conducted in accordance with the Lab's "open site" policy, which opens excavations to park visitors and encourages questions and active engagement with the archaeological team. Archaeology staff and interns developed interpretive signage, maintained a changing artifact display, and kept logs of their interactions with site visitors. A,



lightweight, temporary “field station” helps identify the area as an archaeological project to passersby, and a team of archaeology docents were on site to offer visitors basic interpretation. Over 3,500 people visited the site in 2017.

### **Education**

In 2017, the Heritage Program Education Team served 1,681 San Francisco Bay Area students in archaeologically-focused programs.

One hundred fifty-two (152) 6<sup>th</sup> grade students participated in *Garbology*, a program run in cooperation with the Crissy Field Center and in partnership with the Golden Gate Parks Conservancy and the National Park Service. *Garbology* introduces students to the cycle of waste, from the small scale disposal practices evident in the archaeological record to the massive amounts of waste that occupy landfills today. Students are taught the benefits of composting through an introduction to the concept of archaeological taphonomy (what preserves and why).

Eight hundred twelve (812) 4<sup>th</sup> grade students participated in *Excavate History*, which focuses on the Spanish colonial era and teaches students how archaeology can help us learn about the people who once lived at *El Presidio de San Francisco*. Through a series of hands-on activities, students investigate how the arrival of the Spanish colonists changed both the natural and cultural landscape of San Francisco.

Seven hundred seventeen (717) 2<sup>nd</sup> and 3<sup>rd</sup> grade students participated in *Thingamajigs and Whatchamcallits*, a field trip designed to introduce young students to the field of archaeology by providing them with an opportunity to explore past cultures by comparing and contrasting artifacts. Utilizing their observation skills, students examine historic images to learn about daily life during the Ohlone, Spanish and early American eras at the Presidio. Students then excavate dig boxes filled with replica artifacts and in small groups they classify their assemblage according to color, size, material and function. After collectively charting their data as a class, students reflect on the similarities and differences between people’s daily lives throughout time and understand that although cultures use different artifacts for shelter, clothing, food, work, play, and transportation all humans share these similar needs.

In addition to educational outreach a number of programs were organized this fall for the general public. On October 21, 2017, the Presidio Archaeology Lab celebrated International Archaeology Day and California Archaeology Month with a Lab open house and youth programming. Archaeology staff, interns, and volunteers welcomed more than 300 people into the Lab, answered questions, shared findings from the 2014-2017 excavations, and delivered programs to school-aged children. Staff archaeologists and interns also offer weekly tours of the archaeological site and lab, as well as a weekly three-hour open lab time allowing people to visit the lab, watch archaeologists work, and ask questions. Over 500 people participated in the Lab tour and open hours.



Presidio  
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## 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit D: Archaeological Research, Projects  
and Heritage Program Highlights

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Third graders from the San Francisco Unified School District visit the Officers' Club Heritage Gallery as part of their *Thingamajigs and Whatchamcallits* field trip program.

### Training and Intern News

The robust field and laboratory program of 2017 supported five postgraduate internships. Recent graduates of the Ithaca College, University of California Berkeley, Smith College, University of Montana, and Western Michigan University participated in the full-time residential internship program. They receive training in heritage management, archaeological field methods, laboratory analysis, collections management, museum development, and public education and outreach.



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## **2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES**

### **Exhibit E: National Register Evaluations**

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#### **2017 Plans for a Comprehensive Update to the Presidio of San Francisco National Historic Landmark Registration Forms**

In 2017 the Trust compliance department submitted a funding request to update the 1993 NHL forms by incorporating the draft 2008 update, as well as the Doyle Drive post-project NHL update into a single document. Scope development and cost estimating for this project is complete, and coordination with the Doyle Drive effort that is described in Stipulation III.A.1.l. of that project's 2008 PA is underway. If approved, the Trust will provide a courtesy notification to PTPA parties at including a draft scope of work should they wish to provide suggestions on how to proceed.



Presidio  
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**2017 ANNUAL REPORT**  
**OF NHPA COMPLIANCE ACTIVITIES**  
Exhibit F: Consultation under Stipulation IV.C.2  
Review of EA's and EIS's

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**Consultation under Stipulation IV.C.2**

While the Trust did not initiate any new consultations under Stipulation IV.C.2 of the 2014 PTPA (Coordination with an Environmental Assessment or Environmental Impact Statement Process) in calendar year 2017, consultation on the Tunnel Tops (formerly New Presidio Parklands) project continued over the course of the year and concluded in December 2017 with a Conditional Finding of No Adverse Effect (NHPA) and a Finding of No Significant Impact (NEPA). A summary of consultation activities for this project can be found in Exhibit G – Multi-Agency Consultation.





### **Doyle Drive Replacement/Presidio Parkway Project**

A Record of Decision and a Programmatic Agreement for the Doyle Drive replacement project were executed in 2008, concluding a multi-year consultation effort. Parties involved in design and construction efforts since that time have included the Federal Highways Administration (FHWA), Caltrans, San Francisco County Transportation Authority (SFCTA), National Park Service-GGNRA, California SHPO and the Trust, along with engineering, design and environmental consulting firms. In 2010, the state identified the project as a candidate for a public-private partnership (known as “P3”) to complete funding, design and construction. The remaining four contracts were included in the P3 package, and a concessionaire was selected in December 2010. Project planning, design development and preparations for historic resource protection measures according to the Built Environment and Archaeology Treatment Plans (BETP and ATP, both 2009) continued throughout 2017, as they had in previous years of the project.

Since 2009 Caltrans has convened monthly meetings of the Treatment Oversight Panel (TOP), a team of cultural resource specialists representing signatory agencies to the Doyle Drive PA. The TOP reviews and approves all activities implemented under the BETP, including: roadway design; documentation, stabilization and monitoring efforts for multiple built, landscape and archaeological resources; and other cultural resource documentation as required under the terms of the PA. This collaboration has proven to be a highly-effective partnership that will continue for the duration of the project. Construction on the P3-led portions of the project commenced in early 2013, and has continued through 2017 and will likely extend beyond 2018. The project submits detailed reports on a quarterly basis to all Doyle Drive PA parties under the terms of that agreement; what follows are highlights from work completed during the calendar year 2017.

#### *Building 201*

In 2013, P3 crews worked with the TOP and Trust staff to relocate and mothball building 201 (Quartermaster warehouse, 1897) from the west side of Halleck Street to a temporary storage location on the north side of French Court in order to construct the Main Post Tunnel. Now that the Main Post Tunnel has been built, work proceeded throughout 2016 to return 201 to its approximate pre-construction location, and rehabilitate it to a “warm shell” condition; a use-specific tenant fit-out will be overseen by the Trust at a future date. Throughout in 2015-16, Trust design, compliance and planning staff engaged with the P3 team and TOP representatives to complete rehabilitation plans for the building and its site. In the summer and fall of 2016 Trust compliance, design and planning staff worked with the P3 team in preparation for the building move and rehabilitation. The building move began in December 2016 after a new foundation was built, and was complete by the end of January 2017. Rehabilitation work in 2017 included the removal of non-historic vinyl siding, restoration of the original wood siding, roof replacement, window rehabilitation, reconstruction of the Halleck Street loading dock (now elevated walkway), structural strengthening and all new utility infrastructure and connections. The Doyle Drive portion of the building work concluded in summer of 2017.

Other Doyle Drive-related project accomplishments in 2017 included:

- On-going soil placement, grading and pavement construction at several sites along the project corridor including: Cavalry Bowl, Northbound (Battery) Tunnel, Main Post Tunnel and bluff, Gorgas Warehouse parking, restoration of Halleck Street, and Mason Street Warehouse parking and surrounding site.



- Ongoing monitoring by the project's Cultural Resources team of buildings, landscapes and construction-related ground disturbance to ensure agreed-upon levels of protection for cultural resources in the NHL.
- Coordination of the Doyle Drive project schedule and commitments with the Trust's Tunnel Tops Project.
- Completion of research, drafting and preliminary layout for the project-wide Interpretative Wayside plan occurred in 2016. TOP will review interpretive signs prior to finalization and fabrication, likely in 2018.
- Ongoing landscape design work and preliminary construction of landscape infrastructure (irrigation, soils placement, drainage features).

More information about the project, including images and time-lapse photos, can be found at the Doyle Drive/Presidio Parkway website here (<http://www.presidioparkway.org/>) and in the twice-yearly PA-status reports prepared by the project on behalf of FHWA/Caltrans.

#### **Tunnel Tops (formerly New Presidio Parklands Project)**

On August 29, 2014 the Trust initiated consultation under Stipulation IV of the 2014 PTPA on a landscape rehabilitation effort currently known as the Tunnel Tops project. Tunnel Tops encompasses a 14-acre area of the park comprised of the landscaped tunnel top at the north end of the Main Post, which has been created by the Doyle Drive/Presidio Parkway project, along with portions of mid-Crissy Field. The project will involve landscaping and public program development for this area of the park that emphasizes physical and visual connectivity between the Main Post and Crissy Field. The Trust is the lead agency on the project, and has partnered with the Golden Gate National Parks Conservancy (GGNPC) and the National Park Service in order to accomplish fundraising, design, program and public engagement goals.

The project includes the rehabilitation of National Historic Landmark-contributing building 603 (Post Exchange, 1939), construction of two new buildings (a Field Station and Classroom) to support an expanded Crissy Field Center program, and the removal of non-historic building 211 (Cafeteria, 1968). The project scope also includes landscaping, paths, furniture, overlooks and interpretive installations to support the anticipated level of public use.

In 2014, the Trust along with our partners, conducted an extensive public process to select a design team for the parklands project. On December 9, 2014 the inter-agency selection committee selected James Corner Field Operations (JCFO) as the lead design firm. The project team spent much of 2015 developing concept plans for the project, which were further refined during 2016. Throughout the selection and pre-concept design process, the Trust and its partners have managed a robust public engagement program that included dozens of meetings and generated thousands of comments.

From 2016 through 2017, the public engagement program included a full-time exhibit and project lab in the Trust headquarters (building 103) that featured project information and video presentations from JCFO. The program also included a series of public meetings, weekly site walks and comment opportunities. (See Exhibit L for additional information about our public outreach process.)

The Trust continued consultation with our PTPA partners throughout 2017, with meetings in March, May, September and October. Though parties initially had declined concurrence with the Trust's preliminary finding of "no adverse effect" for the project, continued consultation in 2015, 2016 and





## 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES Exhibit G: Multi-Agency Consultation Projects

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2017 resulted in agreement on a conditional determination of no adverse effect in November. The Trust thanks our agency partners the National Park Service, State Office of Historic Preservation and Advisory Council on Historic Preservation for their diligence and hard work in reaching this outcome. Conditions for the determination are captured in a November 21, 2017 letter signed by all parties (see Appendix G). The project received authorization from the Trust board to proceed into the construction document (CD) phase in mid- January; consultation on the conditioned design elements is expected to take place in the first half of 2018, with construction likely beginning in the second half of the calendar year.

More information about the Tunnel Tops project is available at: <http://www.presidio.gov/tunnel-tops>

### **Building 105: Inadvertent Discovery & Activities under the NAGPRA**

In December 2016 the Trust began construction to fully rehabilitate Building 105 (Enlisted Men's Barracks, 1897), including significant structural and utility upgrades in the basement (below grade) portion of the building. The Trust reviewed the rehabilitation of Building 105 under Stipulation IV.C.1.f.2 of the PTPA on June 30, 2016 (project CR16-027), reaching a determination of "no adverse effect with conditions". One of the conditions identified during review of the project was adherence to an Archaeological Management Assessment (AMA) that Trust archaeology staff prepared for the project per Stipulation VI of the PTPA. The Trust included a copy of the AMA in the 2016 NHPA Annual Report, circulated to PA parties on January 30, 2017. The AMA noted the potential presence of a historic-period cemetery underneath Building 105 that Army records indicated had been moved in the nineteenth century, and accordingly stipulated monitoring of ground disturbing construction activity by a Trust archaeologist.

On February 13, 2017, the Trust archaeologist responsible for construction monitoring for the Project observed bone fragments in a hand-dug trench. The archaeologist immediately ceased construction work in the area pending positive identification of the bones as human. A human osteologist conducted a site visit the same day and confirmed that the bones were human. In accordance with the Trust protocol for the discovery of human remains, Trust staff established a secure perimeter around the discovery, and proceeded with limited archaeological excavation in order to determine whether the remains were disarticulated, part of an intact burial, or larger cemetery. The Trust archaeologist noted wooden fragments interpreted to be coffin remnants, leading her to determine that the burial is at least partially intact and likely part of the larger predicted cemetery. Trust staff removed all excavated soils and bone fragments associated with the discovery from the site and securely stored them in the Trust's on-post lab facility for later re-interment.

The discovery is associated with a historic-period cemetery that may still contain the remains of Spanish, Mexican and Native American individuals interred at the Presidio beginning as early as 1776. The consulting osteologist noted that due to the condition of the burial, the ethnic identity of the individual could not be definitively ascertained without further disturbance of the remains, and even then positive identification would be unlikely. Nonetheless, the Trust elected to generally employ the processes described in 43 CFR 10.4 and 5 of the Native American Graves Protection and Repatriation Act (NAGPRA) regulations concerning inadvertent discovery.

In accordance with NAGPRA protocols, the Trust FPO notified the five Native American representatives from the California Native American Heritage Commission contact list for San Francisco County, in addition to the geographically nearest Federally Recognized Tribe. The Trust also



provided a courtesy notice to Los Californianos (a group representing descendants of the settlers of *Alta California*) given the possibility that the remains may be of Spanish or Mexican heritage.

Through February and March, the Trust engaged with Native American parties and conducted additional research that informed its preparation of a Plan of Action (POA), as stipulated in the NAGPRA regulations. Following conclusion of the NAGPRA consultation, the Trust prepared an Archaeological Identification Plan (AIP) that guided the remaining ground disturbing work at Building 105 so as to avoid adversely affecting the archaeological deposits associated with the cemetery (the final AIP is included as Appendix F of this report).

On April 11, during the course of carrying out the AIP, archaeologists encountered stratigraphic evidence of an additional burial shaft in the vicinity of the burial that had triggered the NAGPRA consultation. Archaeologists identified this evidence during testing for a new structural element (micropile and pile cap) that is part of the seismic upgrade for the building. The Trust followed its protocols for archaeological work around human remains for the second location, which includes protection in place, avoiding disturbance, and securing the site. The Trust also carried out notification protocols described under Section 6 of the POA. As with the earlier discovery, all remains stayed in situ.

The Trust used data gathered under the AIP to guide the remaining construction work to avoid disturbance of any burial plots or associated archaeological context, while completing necessary structural and utility upgrades for the building. Accordingly, the Trust did not need to revise its initial “no adverse effect” determination for the rehabilitation project in order to account for conflicts between the construction and the archaeological deposits. Following completion of ground disturbing activities within the building’s footprint, Trust archaeologists transported all soil and associated materials excavated from the initial burial back to the site for reburial under the new basement slab. The Trust does not intend to remove or further disturb the burial, nor does it plan to disinter any other potential burials associated with the cemetery. The Trust will complete the rehabilitation of Building 105 in the spring of 2018; the agency continues to explore opportunities for appropriately interpreting and sharing the history of the cemetery site in association with the building, or elsewhere in the Main Post.

#### **Building 210: Presidio Visitor Center**

A tri-agency partnership (GGNPC, NPS, Trust) selected building 210 (Guardhouse, 1900; rehabilitated for use as a retail bank and post office in 2001) as the optimal location for the new Presidio Visitor’s Center in 2013. In 2014 the Trust and its partners began preliminary planning for the new Presidio Visitor’s Center facility, preparing conceptual designs for the building reuse and exhibits and completed schematic drawings at the close of 2015. The Trust reviewed the project under Stipulation IV of the PTPA in December of 2015 and construction on the project proceeded throughout 2016. The new Visitor’s Center opened to the public in late January 2017 and in its first full year of operation has received over 100,000 guests.

#### **Presidio Trust Programmatic Agreement (PTPA, 2014) Amendment**

In September Trust CEO Jean Fraser notified PA parties of several changes to roles and responsibilities as defined in Stipulation I.A.1 and 2 of the PTPA. While the previous Presidio Trust Executive Director held the title of Federal Preservation Officer, Ms. Fraser appointed Rob Thomson to the FPO role, eliminated the Deputy FPO title, and replaced the Executive Director title with Chief Executive Officer. These changes were reflected in an amendment to the PTPA that was circulated to signatory parties in

late 2016. The SHPO signed the amendment as proposed on January 6, 2017; the Trust will secure the NPS and ACHP signatures in early 2018. The final amendment is included in this year's annual report (See Appendix H).

**Main Post Update**

Consultation on the Main Post Update, which began in November of 2007, was concluded in October 2010 with the execution of an agreement document by the Trust, the ACHP, NPS and SHPO. In addition to the signatory and invited signatory parties, the San Francisco Architectural Heritage (SFAH), the National Trust for Historic Preservation (NTHP), the Neighborhood Associations for Presidio Planning (NAPP), the Marina Community Association, People for the Parks (PFP) and the Interfaith Center of the Presidio signed the PA-MPU as concurring parties. A summary of the status of PA-MPU projects as of the end of 2017 is included below:

*PA-MPU Projects Currently Underway*

Presidio Theatre (Building 99) - The Trust has signed a lease with a development partner that plans to rehabilitate the Presidio Theater (building 99) for use as a live performance venue using Federal Historic Preservation Tax Credits. In accordance with the 2016 PA-MPU amendment regarding tax credits, the Trust circulated a consultation package on March 4, 2016 that included an archaeological management assessment (AMA) for building 99, confirmation that an HSR had been completed, an announcement for a public information session and an assessment of indirect and cumulative effects for the project (not adverse). Approximately 30 members of the public, including concurring and signatory party representatives, attended the meeting on April 5, 2016 at the Theatre building. The Trust received concurrence from the NPS on its determination of indirect and cumulative effect; the SHPO's office did not respond within the comment period stipulated under the PA-MPU.

In the months following the submittal of the March package, the project proponent revised the design to address comments from the SHPO and NPS tax credit review staff. Accordingly, on November 16, 2016 the Trust circulated a supplemental package to all PA-MPU parties summarizing the revised design and reiterating its finding of no adverse indirect and cumulative effects. On January 13, 2017 the NPS-TPS conditionally approved the project's Part 2 application. Construction groundbreaking occurred in September 2017, and as of January contractors had completed all soft demolition and abatement, roof replacement and excavation for the two new wings of the facility. The team currently anticipates an opening date of mid-late 2019.

*Other Projects Completed under the PA-MPU in Years Prior*

Pilot Project: Interpretive Landscape Treatment for El Presidio – Spanish Chapel Site (2013) – Installation was completed fall 2013.

Main Post Cultural Landscape Report (July 2012).

Chapel (building 130) Historic Structure Report (May 2012).

*Levantar* – the Archaeological Management Plan for El Presidio (April 2012).

Updated Main Post Planning & Design Guidelines (June 2011).



Presidio  
Trust

**2017 ANNUAL REPORT**  
**OF NHPA COMPLIANCE ACTIVITIES**  
Exhibit G: Multi-Agency Consultation Projects

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West of Main Parade Cultural Landscape Report Focused Study (June 2011).

Archaeology Lab & Curatorial Facility – Construction began in early 2011 and the facility opened in 2012.

Taylor Road Parking Lot – Construction began in October 2011 and was completed in 2012.

Building 99 (Presidio Theatre) Historic Structure Report (2015)

All completed documents related to the Main Post Update can be found on the Trust's website, posted to this page:

<http://www.presidio.gov/presidio-trust/planning/project-documents>



This section includes summaries of Tax Incentive projects. The projects listed below were either commenced or completed in the calendar year 2017, or had the vast majority of the work performed during the year.

**Building 99 (Presidio Theatre)**

In 1939 the army constructed Building 99 as a single screen movie theatre and assembly space using WPA funds. The building remained in use as a movie theatre up through the departure of the Army in 1994. In 2015, the Trust began negotiating with a prospective tenant regarding their plans to rehabilitate and adaptively reuse the Presidio Theatre as a live performance space using the Federal Historic Preservation Tax Credits. The proposal included a full seismic, code, life safety and systems upgrade of the theatre, addition of two small pavilions on the west side of the building, a rear addition, build out of the currently unfinished basement/crawl space for back of house uses, restoration of select interior finishes and features, and relocation of the proscenium in order to extend the stage depth to accommodate the new live performance use.

In January of 2016, the Trust and signatory parties finalized an amendment to the Programmatic Agreement for the Main Post Update (PA-MPU) to create a process by which projects previously reviewed under the PA-MPU could pursue Federal Historic Preservation Tax Credits. The project proponent submitted a combined Parts 1 and 2 application to the California Office of Historic Preservation (CA OHP) and National Park Service-Technical Preservation Services (NPS-TPS) in March 2016. The Trust held a public meeting and accepted comments on the Theatre proposal per the terms of the amended PA-MPU in March and April. A revised Part 2 was submitted in the fall of 2016 in response to comments from the OHP and NPS-TPS. On January 13, 2017 the NPS conditionally approved the project's Part 2 application. With a lease signed and a conditional approval received, the Presidio Trust in partnership with the Margaret E. Haas Fund (project sponsor) hosted a groundbreaking ceremony in September of 2017. In the few months since the groundbreaking the construction team has successfully completed hazardous materials abatement, performed selective demolition along with site work preparation, and began replacing and upgrading all utility systems. The project is scheduled for completion in the fall of 2019. The Trust looks forward to including construction updates for the project in the 2018 annual report.

Additional information about the Presidio Theatre project is available on the Presidio Trust website here: <https://www.presidio.gov/presidio-trust/planning/presidio-theatre>



Presidio  
Trust

**2017 ANNUAL REPORT**  
**OF NHPA COMPLIANCE ACTIVITIES**  
Exhibit H: Tax Incentive Projects

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Rendering of the proposed rehabilitation of the Presidio Theatre. (Image Courtesy of the Presidio Theatre non-profit organization)





This section includes summaries of building projects managed, or primarily executed, by Trust staff. The list includes full rehabilitation projects, as well as conservation projects and scheduled/completed maintenance. The projects listed below were either commenced or completed in the calendar year 2017, or had the vast majority of the work performed during the year.

## **REHABILITATION & TENANT IMPROVEMENT PROJECTS**

### **Rehabilitation of Three Gorgas Avenue Warehouses and One Administrative Building**

In 2017 the Presidio Trust planning, compliance and development teams worked on the development of architectural and structural drawings to rehabilitate three NHLDC-contributing warehouses (1163, 1167 and 1170, built 1919) and an administration building (1160, built 1940) for leasable office use. The three warehouse buildings are part of a cluster of six near identical wood-frame structures along Gorgas Avenue. The Trust and tenants rehabilitated the other three buildings in 2002-2004 for similar uses (fitness, health and wellness, and office), however 1163, 1167 and 1170 have largely sat vacant for more than twenty years. Building 1160, the administrative building, is a vacant smaller scale wood-frame building adjacent to the warehouses.

This Trust-sponsored project will include structural strengthening and upgrades to electrical, plumbing and life-safety systems to bring the buildings up to a “warm shell” condition, ready for leasing. The project will preserve all historic materials, volumes and characteristics of the former warehouses and administrative building, while also adding necessary features such as restrooms, building systems, exterior ramps and circulation elements. The project will also re-open historic skylights and selectively add windows for light and ventilation in discrete locations. Tenant specific improvements will be subject to future N2 review. The Presidio Trust will also review additional site development, landscape, civil and site lighting improvements as a separate project at a later date based on a master site plan developed by the Trust for the larger Gorgas complex.

### **Building 1243 Improvements**

In the second half of 2017 Presidio Trust Special Events (SE) staff vacated building 1163 in anticipation of its rehabilitation and leasing (see above), and moved into the south end of building 1243 (warehouse, built 1941). Building 1243 provided necessary storage space for the SE staff, however the existing office space needed to be brought up to current code. Presidio Trust staff performed the required upgrades to the plumbing, electrical and life-safety systems. Office finishes also included new carpet and paint throughout. All work was completed within a month and Trust Special Events Staff moved into building 1243 in late fall.

### **Greenwich Gate and Presidio Boulevard Improvements**

In 2017 the Presidio Trust completed design work and plans to build the eastern portion of the Presidio Promenade trail, which would also re-establish a historic opening in the Lyon Street wall known as Greenwich Gate. The Presidio Promenade is a 2.1 mile multi-use trail that begins at the Letterman and Lombard Streets intersection and ends at the Golden Gate Bridge. This final segment will complete the trail as envisioned in the *Presidio Trails and Bikeways Master Plan* (2003). The *Plan* calls for the Promenade to begin at the Greenwich Gate, which historically served as the entrance for the municipal streetcar line that serviced the Presidio from 1892 to 1950 (the Army infilled the gate after Muni replaced streetcar service into the Presidio with the busses). The Trust will re-open 13’ of the original 26’ wide gate to accommodate a 10’ wide bicycle and pedestrian path. In 2018 the Trust will complete final landscape and civil engineering plans, including details of the wall opening, landscaping, site



grading, lighting and crosswalks, and measures to avoid underground utilities near the trail alignment. The project has received extensive public and city input to date.

### **Historic Forest Rehabilitation**

The Presidio's forest is the largest contributing feature to the Presidio of San Francisco National Historic Landmark District (NHL), and a major component of the Presidio's cultural landscape. The historic forest is part of an extensive designed landscape effort implemented by the United States military in the late nineteenth and early twentieth centuries. The Vegetation Management Plan (VMP, 2001) and the Historic Forest Character Study (2009) delineate the Historic Forest Management Zone, and together codify a comprehensive management and treatment plan for the resource. The Character Study contains treatment recommendations for the forest developed by the Trust in accordance with the Secretary's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes. To date, the Trust has replaced 33 of approximately 300 total acres of historic forest in Area B.

In 2017, Presidio Trust foresters rehabilitated two areas within Historic Forest Zone. The first was 0.7 acres along Thomas Avenue in the Infantry Terrace neighborhood. In 2016 the Presidio Trust performed a tree risk assessment study in the area due to damage caused by downed trees and limbs during winter storms; the study identified several trees for removal due to their proximity to sensitive targets (houses, garages, overhead power lines, a playground). Foresters removed approximately eleven Monterey cypress trees on a steep slope adjacent to power lines and housing; Coastal Redwoods further upslope were not identified for removal. Tree removal began in December 2017 and included clearing of understory shrubs and volunteer trees. Trust foresters followed vegetation removal with erosion controls and applied compost on steep slopes where possible. In early 2018 the project will plant new trees such as Monterey cypress and redwoods further upslope and away from roads and power lines. Smaller stature trees, such as Pacific Wax Myrtle and Sargent's cypress will be planted closer to the roadway to maintain the character of the stand. The Trust will plant some broad-leaved trees near the garages, along with groundcover plants to aid in erosion control. This is the first of a three phase reforestation effort along Thomas Avenue, which the Trust plans to complete in 2019.

The second project focused on reforestation of the Park Stand area located along Park Boulevard, just west of the National Cemetery. This iconic stand of Monterey cypress trees is one of the designated key historic forest stands in the Presidio and is much loved by the public. Poor soil conditions, age and wind have resulted in low percentage of live crowns, risk of limb breakage and near stagnant rate of growth for the trees in this stand. In collaboration with UC Berkeley's Joe R. McBride, Professor Emeritus of Landscape Architecture & Environmental Planning, the Trust developed a reforestation plan for the Park Stand that will be carried out in six phases over the next seven years. The Trust will replace this stand in such a way that its character defining features are maintained over time, while also improving the overall health of this distinctive portion of the historic forest.

The forestry crew implemented the second phase of work in 2017, removing trees at the southwest corner of the stand, just north of the 2016 reforestation area. The strategic removal of trees from the south will help deflect wind at the edges of the stand and allow trees to fall away from Park Boulevard. Trust forestry crews removed approximately 35 declining cypress from a 0.7 acre zone in August and September followed by compost and irrigation trenching in late October. Trust staff and volunteers planted approximately 200 seedling Monterey cypress trees in December. The seedlings were planted on a 15-foot by 15-foot spacing with rows oriented north-south and east-west to emulate





the original planting by the U.S. Army. After 10 to 15 years, forestry crews will thin the trees to a 30-foot by 30-foot spacing and prune them to prevent the stagnation that is evident in the existing stand.

### MacArthur Meadow

MacArthur Meadow is located within the Tennessee Hollow Watershed where the three creek tributaries in the watershed converge, forming a single channel under the historic Lovers' Lane Bridge before flowing north to the restored YMCA Reach, Thompson's Reach, Riparian Reach, (future) Quartermaster Reach and ultimately Crissy Field Marsh. Historically, the four acre site was a gently sloped marshland before the U.S. Army installed drainage channels and fill in the early twentieth century. Today, the area is a shallow, concave, kidney-shaped area that until recently was a dry meadow with a few wetland areas laced with historic rock-lined channels and an at-grade trail (Lovers' Lane).

In November of 2014, the Trust proposed a project to restore an ecologically functional, freshwater wet meadow and riparian habitat unique to the Presidio and San Francisco. The project scope included retaining the existing Lovers' Lane alignment with an elevated boardwalk similar to the boardwalk that existed historically in this location. The new boardwalk design allows for protection of the extant historic masonry Lovers' Lane Bridge. The project also retains and/or incorporates historic drainage channels into the restoration plan, and followed a site-specific archaeological management assessment (AMA) and cultural landscape treatment recommendations from the Tennessee Hollow Cultural Landscape Assessment (2004) in order to avoid adverse effects to remnant historic resources.



One of three interpretive panels located at MacArthur Meadow (M. Taylor)



In 2015, the project completed clearing, grubbing, and the removal of eight trees, primarily at the north end of the site. Non-native vegetation removal allowed for replanting with a diverse array of native wetland and upland plant species. In 2016, contractors completed finished grading and removal of below grade drainage culverts in order to “daylight” the water channels. Volunteers began planting the landscape with native plants in December 2016 and additional planting occurred throughout 2017.

Also in 2016, the Trust, in collaboration with the NPS, prepared text and images for five interpretive waysides as part of a larger interpretation plan for the project. In 2017 the Trust installed three waysides along the boundary of MacArthur Meadow and in 2018 will install two more on the MacArthur Meadow boardwalk. These signs conclude the MacArthur Meadow restoration project and will help explain the rich cultural and ecological history of the area.

#### **MacArthur and Portola Traffic Calming Improvements**

In 2017 Trust Transportation and Landscaping staff performed pedestrian and vehicular improvements at a three-way intersection at historic Portola Street and MacArthur Avenue. These improvements included adding a third stop sign (westbound at MacArthur Avenue), extending a sidewalk on Portola, installing curb ramps and adding a crosswalk. Work also included trimming willows to improve visibility of pedestrians and associated signage.

#### **Building 97 Capital Turn**

Building 97, a former Red Cross Building constructed in 1942, is one of a handful of buildings constructed in the Main Post district during World War II. Long used as office space for Trust staff, in 2017 the Trust leased the building to a commercial office tenant. To lease the space the Trust performed minor improvements that included updating non-historic bathroom finishes and fixtures, selective demolition of non-historic partitions, new carpet and painting. The project scope also included updating finishes in an existing kitchenette and replacing non-historic aluminum frame windows on the south elevation with wood windows to match the remaining historic windows found on the north, east and west elevations. Exterior work included painting, dry rot repair, new gutters and downspouts.

#### **Building 105 Rehabilitation for Lodging**

Building 105 is one of five identical two-story with attic over basement, masonry buildings constructed in the late 1890s as barracks for two companies of 100 soldiers each. Research conducted for a Historic Structure Report (HSR) in 2015 concluded that building 105 was largely unchanged until the Vietnam War when the open-plan barracks were modified to accommodate private suites. Later in the Army era the building underwent significant alterations under a Federal Emergency Management Agency tenancy (along with neighboring building 104), for office use, resulting in a substantial loss of interior historic fabric and original floor plan features. Following base closure, the building stood largely vacant save for the temporary Presidio Visitor Center which operated out of the first floor of 105 until 2015.

In 2015 and 2016, the Trust worked with a preservation architect to develop plans to rehabilitate building 105 as a 42-room hotel. The Trust-sponsored project will use the same operator as the 22-guestroom Inn at the Presidio (opened April 2012) and four-guestroom Funston House (opened July 2013) to manage guest accommodations at building 105. Treatment recommendations in the Building 105 HSR guided the rehabilitation approach in order to ensure consistency with the Secretary of the Interior’s Standards for Rehabilitation and avoid adverse effects.



Work on the building began in December of 2016 continued through 2017, with a targeted opening of late-spring 2018. The scope of work includes creating a lobby, lounge, and dining room in the historic entry and south dormitory spaces. Guest rooms will be built out in the remainder of the first floor and the entirety of the second and third floors. Service rooms and mechanical systems will be primarily located in the basement with housekeeping closets located on each floor above. Additional scope items include restoration of the original dual staircases at the main entrance, exterior repairs, landscape improvements roof replacement, a full seismic upgrade, restoration of historic windows and the installation of an HVAC system. Archaeological discoveries associated with this rehabilitation project are addressed in Exhibit G: Multi-Agency Consultation.



Building 105 showing off a new roof (M. Taylor)

#### **Landscaping along Lincoln Avenue from Presidio to Funston Avenues**

In 2013 the Presidio Trust began the restoration of a riparian corridor and wetland in a former material storage area then known as the Dust Bowl. In addition to restoring what is today known as YMCA Reach (for its proximity to the current YMCA at building 63), the Trust incorporated into the design other site improvements such as trail connections, site furnishings, parking lot improvements and landscaping. While the Trust had completed much of the grading, wetland restoration, trail and hardscape work in 2013 and 2014, the landscaping along Lincoln Avenue and Presidio Avenue was largely incomplete until this year. In the fall of 2017, the Trust implemented the landscaping design which included shrub and groundcover removal, new irrigation, and new lighting along with new plantings that will help reduce the Presidio Trust's water consumption. Contractors will complete the project in early 2018.

#### **Building 37 Landscaping**





In 2017 the Presidio Trust rehabilitated the modest landscaping around Building 37 (Administrative Office, 1941). The landscape was largely limited to small and medium size foundation plantings and untended courtyard areas and was one of the few remaining landscapes to receive attention since the closing of the base. The work performed in 2017 created a more cohesive planting palette while maintaining the simple aesthetic around the building. Trust staff also took this opportunity to inspect and repair as needed wood skirting around the building. Additionally, the Trust planted a palm tree just south of the building at Keyes Street in keeping with the historic row of Palms along Graham Street. The work also included adding bike racks and exterior picnic tables for tenants and park users.

#### **Building 1450 Improvements**

In 1942 the army constructed building 1450 as a radio station and for the past several years this building has functioned as offices for the Presidio Trust Grounds staff. In 2017 the Trust performed cosmetic upgrades to building and addressed signs of wear and tear. The scope of work included full rehabilitation of the kitchen including replacement of non-historic cabinets, counters, flooring and appliances. The Trust replaced non-historic plumbing fixtures and lighting fixtures in the men's bathroom and cleaned the historic marble partitions and tile floors. The non-historic women's bathroom received new lighting fixtures, plumbing fixtures and a new shower door. The main common areas received new paint and carpet.

#### **Building 130 Site Improvements**

Although building 130 (Post Chapel, built 1932) is a historic building, much of the adjacent hardscape was added outside of the period of significance. This year the Trust performed accessibility improvement at the site of a 1970's patio area on the east side of the Chapel including adding a curb cut ramp and a new walkway. Improvements also included adding earth fill to level the lawn and new plantings to supplement the existing landscape. The Trust also took this opportunity to relocate an existing interpretive wayside from the front of the chapel to just east of the building near the base of the bell tower.

### **MAINTENANCE, STABILIZATION, and DOCUMENTATION PROJECTS**

#### **Upper Simonds Loop Concrete Sidewalks and Hardscape Repairs**

The concrete walkways, landings and sidewalks around residential buildings 510-514 Upper Simonds Loop (built 1940) are in need of repair. These walkways date to the original construction of the homes and over time have settled creating uneven walking surfaces. Trust staff developed a design-build solution to remove and replace in-kind select concrete landings and walkways. The new concrete will match the color of the historic concrete and will include the necessary grading, dowels and rebar to prevent future settling. The Trust will also install curb ramps for accessibility along the public sidewalks in front of the units. The work will be performed in early 2018.

### **CYCLIC MAINTENANCE**

#### **Battery Bluff Graffiti Abatement Testing**

In December of 2016, the Presidio Trust contracted with an outside materials conservation contractor to develop a graffiti removal testing program at Battery Bluff, a group of four historic coast artillery structures located north of the National Cemetery. The three exposed concrete batteries (Sherwood, Slaughter and Blaney) are heavily vandalized and require extensive graffiti abatement (the fourth, Baldwin, is currently buried). The program included: testing chemical and mechanical cleaning techniques along with sacrificial coatings at select locations on the batteries; measurement of different



techniques against pre-determined criteria including efficacy, scalability and environmental sustainability; and production of a report detailing recommended approach and budget for the future remediation of the three batteries. Initial testing began in December 2016 and resumed in the spring of 2017. The report documenting the testing results, “Battery Bluff- Graffiti Removal Testing Program at the Presidio of San Francisco”, was issued in June of 2017. The conclusions of this report will inform a larger battery stabilization plan currently under consideration for 2018. The Presidio Trust shared the report with their management partners at the National Park Service Golden Gate National Recreation Area and the Doyle Drive project.

#### **Residential Neighborhood Cyclic Maintenance at Portola Street, Presidio Boulevard and East Washington Boulevard**

2017 residential cyclic maintenance work included homes in three historic neighborhoods: Portola Street, Presidio Boulevard and East Washington Boulevard. Presidio Trust maintenance crews assessed each building in these neighborhoods to estimate repairs and preventative maintenance tasks. Trust crews communicated with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary’s Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.

The Army constructed the historic brick duplexes along Portola Street in the 1930’s. Although these homes are based on one of two Quartermaster issued floor plans, the Army constructed the buildings in two phases over a nearly ten year period. Buildings 742-750 were constructed in 1932 and the remaining buildings 751-760 were constructed in 1939. This neighborhood underwent exterior envelope repairs in 2017 including selective repointing at buildings 746-748, 751, 752, 755, 756, 758-760 and selective flashing repair at 748, 751 and 759. Several sunroom porches showed signs of failure resulting in the repair or replacement in kind at buildings 746, 750, 752, 755-757.

The Presidio Boulevard neighborhood is comprised of former officers’ houses and detached garages constructed in 1917. In 2017, Trust building maintenance crews addressed exterior repairs at residential buildings 540-551. The work on these multi-story stucco-clad structures included carpentry repairs, particularly dry rot repairs around doors, windows, porches, railings and stairs, along with exterior paint. Additionally envelope repair and full paint occurred at the nearby stucco, multi-car garage buildings (552-557).

The residential duplexes at East Washington include buildings 401-404, 406, 407, 409-414, 416, 417, 419-424, 428, 432 and 434. Trust maintenance crews assessed these former Officers’ Family Housing units, constructed in 1948, and determined that the exterior envelopes were generally in sound condition but in need of painting and some gutter replacement. All homes received a new coat of paint and the following buildings received selective gutter replacement: 401, 407, 420, 422, and 424.

#### **Non-Residential Cyclic Maintenance**

In 2017, the Trust performed cyclic maintenance on non-residential buildings in the Main Post and East Cantonment Districts. Presidio Trust maintenance crews assessed selective buildings in these neighborhoods to estimate repairs and preventative maintenance tasks. Trust crews communicated with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary’s Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.



In the East Cantonment, Buildings 567, 569 and 572 Ruger Street (Enlisted Men's Barracks, built 1903) are currently rented to office and wellness tenants. These single-story, wood frame buildings underwent dry rot repairs, roof repairs and received full exterior paint.

In the Main Post District, building 116 (Sutler House, built 1885), is an office tenant-occupied building located just west of the Montgomery Street Barracks. Work performed at building 116, a wood-frame two-story building, included minor exterior carpentry repairs; full exterior paint is scheduled for 2018. Nearby at building 130 (Post Chapel, built 1932), the Trust performed minor exterior repairs and selectively painted exterior portions of the building. The remaining paint for building 130 is scheduled for spring of 2018. Additionally, Trust-occupied garage building (No. 98, built 1941) and the Trust-managed event space Golden Gate Club (No. 135, 1949) both received full exterior paint in 2017.

The Trust also performed necessary mechanical room repairs at buildings 41 (BOQ, 1941) and Funston Avenue buildings 11-16 (Officers' Quarters, 1862). In addition, building 41 received perimeter rodent proofing, and an exterior door replacement.

#### **Buildings 1390 Envelope Repair and Structural Stabilization**

In 2017 the Presidio Trust Building Maintenance Department in partnership with compliance staff began a scope of preservation maintenance work at building 1390, a former Sunday school constructed in 1941 in support of building 1389, the Fort Scott Chapel. Long vacant, the simple wood-frame, single wall construction building showed signs of structural failure. The scope of work included raising and leveling the floor, repairing or replacing failed framing, replacing failing post and pier foundations, and constructing a partial concrete foundation at the west end where dry rot was particularly acute. The project also included full roof replacement, painting the building and securing the wood-frame windows with plywood. All work was performed with the intention of stabilizing the building until the building can be fully rehabilitated at a future date, likely as a support structure to the adjacent chapel.





1390 prior to building stabilization work in 2017 (M. Taylor)



Building 1390 following completion of envelope repairs and structural stabilization (M. Taylor)



**Building 966 Preservation Maintenance**

The army constructed Building 966 in 1921 as a radio receiving station and later converted it into a modest officer's home. Building 966 is a single-story, stucco-clad structure located at the western end of the Pilots Row neighborhood. The building has sat vacant for many years and shows signs of deferred maintenance and water intrusion. To arrest these issues the Trust performed limited envelope repair including cleaning the roof, replacing the gutters and properly sealing windows and doors. Additional analysis and repairs may be necessary in the future.

**Thornburgh District: Preservation Maintenance Phase III**

The buildings within the Thornburgh district historically functioned as the "back of house" operations for the Letterman Army Hospital (first constructed in 1899). This utilitarian district included support structures including a power house, industrial laundry facility, several warehouses and the psychiatric ward. The buildings in this area are largely unoccupied and, until recently, in need of general envelope maintenance. A preservation maintenance scope and budget of over \$3M was identified to keep these buildings in good, secure condition pending identification of a development partner and associated rehabilitation plans. The Trust began addressing these preservation maintenance scope items in 2015 and continued these efforts in 2016, concluding with the following scope of work in 2017. The buildings addressed in 2015 and 2016 include: 1040 (Power House, built 1900); 1047 (Laundry, 1914); 1056 (Animal House, 1910); 1059 (Storehouse for Combustibles, 1915); 1060 (Medical Warehouse, 1916); and 1063 (Warehouse, 1941). With much of the envelope stabilization completed in previous years, the Trust focused on remaining buildings 1050 (Psychopathic Ward, 1918) and 1051 (Detention Ward, 1909) in addition to minor loading dock repairs at 1062 (Storehouse, 1922). The scope of work for buildings 1050 and 1051 included paint stabilization, repairs to gutter and drainage systems, roof repairs, concrete spall repair and securing windows and other openings. Trust planning and compliance staff collaborated with the building maintenance crew to develop the scope of work.



This section includes summaries of building projects managed, or primarily executed, by Trust tenants. The list below includes projects that were either commenced or completed in the calendar year 2017, or had the vast majority of the work performed during that year.

**Paul Goode Field**

Paul Goode Field (built 1957) is a baseball/multi-use field measuring approximately 300 feet by 350 feet located north of the Julius Kahn Playground in a residential area at the southeastern corner of the Presidio. In response to a 2012 Request for Proposals (RFP), University High School proposed to develop and manage the facility as a multi-purpose sports and a practice field suitable for baseball, lacrosse, soccer, field hockey and softball. The new facility also includes a three-lane practice track with a long jump pit at the north end of the tracks. The existing natural grass was replaced within the existing ball field's footprint with synthetic turf to increase hours of available play and reduce water and fertilizer use. The project included replacement of the existing storage shed and restroom with new ADA-compliant restrooms and a storage building. Other improvements included an underground field drainage system, new dugout structures, fenced bullpens/batting cages, bleacher seating, an outdoor, partially-covered storage area, and new landscaping. Design of the landscape, ball field and site furnishings has been developed for compatibility with the character of the surrounding cultural landscape and in order to avoid affecting adjacent historic forest stands. In 2015, the Trust reviewed the planting plans to confirm that the species and stature of the specified plants were adequate to screen the new practice field from the adjacent Upper Portola residential neighborhood. The Trust also worked closely with the tenant and design team to ensure that no mature trees in the adjacent historic forest zones would be affected by the project. Site preparation began in late 2015 and work continued throughout 2016. The tenant completed the project in the summer of 2017, and held an official opening celebration on August 27. The field is currently used by the students of University High School along with non-profit and youth groups from all over the city of San Francisco.

**Building 1332 Addition**

Building 1332 (General's House, built 1943) is a single family residence on Wright Loop adjacent to the Kobbe residential neighborhood. In 2017 the long-time tenant proposed constructing an addition at the southeast corner (rear) of the building. Located just off the living room, this 790 foot addition will provide additional common space for the family. The tenant worked closely with Presidio Trust staff to ensure that the addition met the Secretary of the Interior Standards, is positioned and designed to minimize impacts to the historic structure, and will have limited visibility from publicly accessible vantage points. For increased usability, the tenant will also making minor improvements to the hardscape area both adjacent to the new addition and behind the original building. Additionally the tenant will add new lighting, improve the irrigation system, construct a small trash enclosure and add plantings. Work will begin in 2018.

**MISCELLANEOUS TENANT IMPROVEMENTS**

The text below highlights some minor scope projects that were managed by Presidio tenants. All described projects are documented in Exhibit C.

**Buildings 1201 and 1202 Tenant Improvements**

The Presidio Trust fully rehabilitated Buildings 1201 (Coast Artillery Headquarters, built 1912) and 1202 (Barracks, built 1910) in 2011 and 2012 for Trust offices, event support spaces and tenanted office use. In 2017, World Economic Forum (WEF) rented the entirety of building 1201 for office use



and the first floor of 1202 for office and event support space. Later in the year WEF expanded their office tenancy into the second floor of building 1202. To accommodate the new tenancy, WEF performed minor improvements at both buildings. This work was largely cosmetic and was limited to updating data, wireless and electrical systems, new paint, new light fixtures and new carpet.

#### **Presidio Golf Course 13<sup>th</sup> Tee expansion and Driving Range Improvements**

The Presidio Golf Course was initially constructed in 1895 and is a contributing resource to the NHL. In 2017, the Golf Course management team proposed site work to improve user experience at the 13<sup>th</sup> Tee. The project included expanding the teeing surface using excess soil from the MacArthur Meadow project, adding sod and installing irrigation. Also in 2017, the Golf Course management proposed improving poor drainage on a 0.5 acre area within the driving range by adding several hundred tons of sand and raising the grade slightly more than a foot. New hydro-seed and replacement sprinkler heads were added to the site when grading was complete.

#### **Building 86 Suite 200 Tenant Improvements**

The Trust rehabilitated Building 86 (barracks, built 1862) in 2004 to accommodate multi-tenant office use. In 2017 an existing office tenant proposed performing minor improvements to enhance the usability of the space and update non-historic finishes. Work included modifying existing non-historic partitions, improving sound proofing qualities in non-historic spaces, and improving an existing air ventilation system. Work also included changing non-historic light fixtures and adding floor outlets in select, discrete locations. The tenant completed the scope of work in fall of 2017.

#### **Buildings 1818 and 1819 Site Improvements**

In 2014 a preschool and childcare group rehabilitated historic Buildings 1818 and 1819 (Infectious Disease Research Laboratory and Offices, 1932) along with the adjacent landscape. Since opening in 2015, a number of winter rain storms have caused areas of the playground to flood or pool with water. Additionally, improper drainage around the buildings has resulted in minor flooding in the basement of building 1819. In 2017 the tenant hired civil engineers to study and address the site, drainage and landscape deficiencies. The proposed site improvements include cleaning out existing storm drains, improving screening at storm drains (to prevent landscape materials from clogging pipes), replacing and regrading landscape groundcover, installing a sump pump in the basement of 1819 and supplementing existing waterproofing material on below grade portions of building 1819. Some site work began in 2017 and is scheduled for completion in early 2018.

#### **Quarters 1 Security Measures**

Quarters 1 (General's House, built 1943) is a single family home located in semi-secluded corner of the park on Upper Simonds Loop. Over the last year the long-time tenants of this home have experienced a number of intrusions and break-ins, and subsequently proposed security improvements around their home. These proposals include installing a new metal security fence at the back patio of the home and a new glass railing at the top of the adjacent, non-historic in-law unit. Additionally, they will be installing a short section of 6' high fencing along the western boundaries of their yard, abutting a heavily vegetated area and Shafter Road. The new fence will force pedestrians to walk along more publically visible roads to enter their leased space.

#### **Building 5 Tenant Improvements Phases I and II**

An existing grade school at Buildings 4 and 8 on Funston Avenue recently expanded into Building 5 (Officers' Housing, built 1862). Before classes could begin the space, the new tenant needed to make



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Trust

## 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES Exhibit J: Tenant Preservation Projects

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minor modifications to the former office space to accommodate educational use. Prior to the 2017-2018 school year the school performed a portion of the work including re-opening sealed historic doorways on the first and second floors, performing ADA upgrades in the non-historic bathroom and updating the fire and life safety systems. Additional improvements scheduled for 2018 include adding a wood ramp and a new concrete pathway at the rear of the building to improve ADA access.

### **Portals Art Exhibit**

In 2017 the Presidio Trust partnered with Shared Studios to install a temporary interactive art exhibit at the Main Post's Pershing Square. The exhibit was comprised of "Portal", a gold-painted shipping container equipped with audiovisual immersive technology. Shared Studios has established more than twenty such Portals in eleven countries that provide on-going opportunities for visitors to connect face-to-face with other Portal users worldwide. In October Shared Studios moved a Portal located at Crissy Field to the Presidio's Main Post. For approximately one month the Portal connected park visitors free of charge to others around the world for approximately twenty minutes at a time. A solar unit with a backup generator powered the exhibit, eliminating the need for any utility connections. The exhibit closed at the end of 2017 and has since been removed.



This section includes summaries of training courses, accomplishments and preservation-related activities not associated with an undertaking. The list below includes activities that were either commenced or completed in the calendar year 2017, or had the vast majority of the work performed during that year.

#### **National Preservation Institute (NPI) Class**

The Trust continued its long-standing partnership with the NPI by hosting one seminar in 2017. Held September 6 and 7, the seminar, *NAGPRA and ARPA: Applications and Requirements*, provided continuing education for approximately 17 cultural resource professionals. Two of the participants were Trust Heritage Technicians (Archaeology Department) Edward DeHaro and Claire Yancey. The two day class provided overviews of the Native American Graves Protection and Repatriation Act (NAGPRA) and the Archaeological Resources Protection Act (ARPA).

#### **Historic Preservation Compliance Intern**

The Presidio Trust Historic Compliance team was pleased to host Oliva White, a recent graduate of Cornell University's Master of Arts degree in Historic Preservation Planning. Over a 10-week internship this summer, Olivia researched, surveyed and assessed the Presidio's Water Treatment Plant, particularly the historic filter equipment in building 1773. Olivia's work will help the Trust's Utilities Department make decisions about the long-term treatment and use of the Plant, which is an important piece of the Presidio's infrastructure.

#### **Educational Engagements at the Presidio**

In 2017 Rob Thomson, Rob Wallace, Christina Wallace, Michelle Taylor, and Michael Lamb and others provided educational tours and presentations at the Presidio for a number of peers in the preservation and built environment professions. These tours showcased the successes and lessons learned through preservation efforts at the Presidio.

Below offers a sample of these tours:

- A walking tour for the AIA-SF, 2017 Architecture in the City Festival; Theme: Secret Presidio; Sustainability and Historic Building Rehabilitation; September 2017
- A tour with San Francisco Maritime cultural resource staff to compare strategies for mural conservation; June 2017
- Members of the City and County of San Francisco Preservation Planning team toured buildings around the Fort Scott district; October 2017
- Rob Wallace contributed to two Trust-sponsored lectures at the Officers' Club: a Presidio Dialogues panel entitled "Sustainability and Building Rehabilitation" (April) and a forum entitled "[Climate Friendly Parks](#)" (October)

#### **Association for Preservation Technology International (APTI) Annual Conference**

Rob Wallace attended the 2017 APTI/National Trust for Canada Joint Conference: Capitalizing on Heritage held in Ottawa, Canada in October of 2017. The conference continued the APTI tradition of setting the standard for preservation ideologies, to present the most current technologies to assist the preservation process, and to give voice to the international community for preservation findings.

#### **National Trust for Historic Preservation Annual Conference**

In November, Rob Thomson attended the 2017 National Preservation Conference, "PastForward" held in Chicago, Illinois. The conference continued the NTHP tradition of partnering with local preservation organizations to showcase historic preservation challenges and successes of a region.

Rob's participation in the 2017 helped set the stage for the Trust's role in helping to host the 2018 conference, planned for San Francisco.

**Society for California Archaeology Meeting**

In March of 2017, Archaeologist Kari Jones and Heritage Technicians Claire Yancey and Edward DeHaro attended the Society for California Archaeology meeting. Both Claire and Edward attended two workshops there – one was an introduction to state and federal historic preservation legislation (Section 106, NEPA), and the second was for advanced practitioners and focused specifically on working with the SHPO's office during the Section 106 process. Additionally, Edward attended a workshop on human osteology. The conference ran from March 8 – 12 and was held at Fish Camp, near Yosemite.

**SGH Knowledge Sharing**

In 2017 Rob Wallace attended two professional seminars hosted by the structural engineering firm Simpson Gumpertz & Heger (SGH). These seminars were "California Building Code 2016 Code Changes and Affects to the State Historic Building Code" in April 2017 and "Invisible Structural Strengthening (Use of fiber reinforced polymers)" in June 2017.

**UC Berkeley Extension Case Study: Cultural Landscapes in the Presidio**

On Saturday July 15, Historic Preservation Specialist Michelle Taylor co-led a day-long cultural landscape-focused seminar at the Presidio. UC Berkeley Extension instructor Gretchen Hilyard had selected the Presidio as a case study showcasing successful cultural resource preservation, including land management and interpretation. The class curriculum included a series of workshops that taught the basics of cultural landscape preservation through case studies at three locations in the Bay Area, including the Presidio. The day included site visits to several of the Presidio's most dynamic examples of park management including a live archaeology dig at El Presidio, the Officers' Club, *Tree Fall* and *Wood Line*.

**Professional Achievements Outside of the Presidio**

Preservation staff made positive strides in their field outside of the Presidio in 2017. In August of 2016 Christina Wallace was selected as Guest Scholar at the Getty Conservation Institute for the term of January to March 2017. Her work at the Getty continued her research on the architecture of the Salish Tribes in the Pacific Northwest. Michael Lamb continued his role as a visiting lecturer in Landscape Architecture and Environmental Planning at the College of Environmental Design at the University of California, Berkeley. Rob Thomson continued as guest lecturer at UC Davis Architecture & Environmental Design Program, contributing examples of the Presidio's landscape rehabilitation to a combined undergraduate/graduate-level course entitled "Place, Culture and Community". In 2017 Christina Wallace and Rob Wallace, both alumni of University of Washington, were interviewed for a UW Alumni publication. The article "Protectors of the Presidio" was featured in the February issue of the UW Alumni Association Magazine. In March 2017 Rob Wallace assisted Rand Institute researcher, Beth Lachman, with information to write "Presidio of San Francisco as Preservation Model," a sidebar reference in Rand Institute research paper for the Department of Defense.

**Awards**

In 2017 the Presidio Trust and its talented staff were recognized for our collective efforts to preserve contributing resources within the Presidio of San Francisco National Historic Landmark District. In October 2017 the Presidio Trust, the Golden Gate National Recreation Area (NPS) and the Golden



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**2017 ANNUAL REPORT**  
**OF NHPA COMPLIANCE ACTIVITIES**  
Exhibit K: Personnel Training

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Gate Parks Conservancy received with the National Park Service Director's Partnership Award. This prestigious award recognized the collaborative efforts of the three agencies ability to successfully "design, build and open" the William Penn Mott Jr. Visitor Center in early 2017. The California Heritage Council also recognized the Presidio Trust for the rehabilitation of the Presidio Visitor Center. The Visitor Center opened in early 2017 and is jointly managed by the Presidio Trust, National Park Service and Golden Gate Parks Conservancy.



## 2017 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES Exhibit L: Public Outreach

This section includes summaries of Presidio Trust projects that sought public involvement due to their scale and complexity. The projects listed below were either commenced or completed in the calendar year 2017, or had the vast majority of the work performed during the year and were not captured in other sections of the report.

### **Public Comment on Tunnel Tops (previously known as Presidio Parklands Project)**

In 2014 the Presidio Trust, along with our partners the Golden Gate National Parks Conservancy and the National Park Service, kicked off an effort to design a new 14-acre landscape on top of the Main Post tunnels for the new Presidio Parkway/Doyle Drive. A public engagement program that began in 2014 continued through the calendar year of 2017. Since September 2014 the Trust has received thousands of public comments through these outreach efforts, and looks forward to continued public engagement on the project as it proceeds through the next phases of design and implementation.

Although design development continued in 2017, progress slowed due to cost evaluations, fundraising efforts and ongoing consultation with agency partners. Despite a paucity of new information, the Trust provided opportunities for the public to remain engaged through an updated website, a refreshed exhibit in building 103, and regular Friday site walks that resumed in the fall after a summer hiatus. The latter offered an opportunity for the public to walk the site with Trust compliance, planning and communications-team members and answer questions about the scope and timing of the project.

Project documents, schematic designs and public comments are available on the Tunnel Tops project website at: <http://www.presidio.gov/tunnel-tops>

A full description of the agency's activities around this project is found in Exhibit G of this report.

# Appendix A



## Appendix B



## PRESIDIO TRUST PROJECT SCREENING FORM

Filing of Project Screening form is in compliance with Section 1010.1(a) of the Presidio Trust's Regulations implementing the National Environmental Policy Act and Section VIII of the Programmatic Agreement among the Presidio Trust, National Park Service, the Advisory Council on Historic Preservation and the California State Historic Preservation Officer regarding the Presidio Trust Management Plan and various operation and maintenance activities for Area "B" of the Presidio of San Francisco, Golden Gate National Recreation Area, and pursuant to Section 106 of the National Historic Preservation Act of 1966, as Amended.

*(To be completed by N<sup>2</sup> Division only)*

**Submittal Date**

**Project No.**

☐ NHPA / ☐ NEPA

### PART I

#### A. GENERAL INFORMATION

<b>Project Title:</b>			
<b>Project Location / Site:</b>			
<b>Planning Area:</b>			
<b>Major / Minor Work Order</b>			
<b>Proposed Start</b>		<b>Proposed Completion</b>	
<b>Project Manager / Title</b>			
<b>Trust Department</b>			
<b>Phone Number</b>		<b>Fax Number</b>	

#### B. PURPOSE AND NEED

*Describe below the reason for proposing the project at this time and what the project hopes to accomplish.*

#### C. WORK PLAN SPECIFICS

*Describe below how the project would be implemented. Be as specific as possible about dates and methods. The form must include a project location map and the following attachments as needed: site plans, design and/or construction drawings, photographs, cut sheets, other graphics.*

#### D. PROJECT COORDINATION

**If implemented, would the project:**

<b>1.</b>	Require a Building Permit and/or an Excavation Clearance?	
<b>2.</b>	Require outside review/consultation? e.g. California Environmental Quality Act (CEQA), Regional Water Quality Control Board (RWQCB), US Fish and Wildlife Service (USFWS), or Native American tribes.	
<b>3.</b>	Be within Area A or have the potential to affect Area A lands, and require National Park Service NEPA or 5X Review?	
<b>4.</b>	Disturb soil in the drip line of a building? If so, has the remediation program for lead-based paint soil been initiated?	
<b>5.</b>	Would this project generate controversy or questions from the public, and hence require public outreach and education? Does it require notice in the Presidio Post? <i>if "Yes", explain here:</i>	
<b>6.</b>	Be within an environmental land use control zone? <i>If unknown, consult the Environmental Protection Specialist at 561-2756</i>	

## PRESIDIO TRUST PROJECT SCREENING FORM

**If implemented, would the project:**

7.	Have design components (such as aesthetic/visual features, architectural/interior design elements, designed landscape components or special maintenance/sustainability considerations) that do not give rise to potential environmental effects, but may require additional review? <i>If unknown, consult the Design Review Committee Coordinator at 561-5367</i>	
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### E. ALTERNATIVES CONSIDERED

*Describe below all alternatives considered including timing, cost, potential environmental effects, and/or logistical issues that influenced the rejection of each alternative. **“No Action” should always be one alternative considered.** Proposals that do not document alternatives considered will be returned to the Project Manager for further information*

### F. CONSULTATION

*Early consultation with the N<sup>2</sup> and resource staff will expedite the review process. Describe below communication with Trust resource specialists or input from outside agencies or experts. Any potential environmental impacts identified must be discussed with the relevant staff specialist.*

## PART II

*“Yes” answers must be accompanied by an **explanation of how the potential impact will be avoided.** Justify “No” answers with an explanation when needed.*

**If implemented, could the project:**

1.	Affect a known historic property, an archeologically sensitive area, cultural landscape or other National Historic Landmark District contributing feature? .....	
<i>If unknown, consult the Historic Compliance Coordinator</i>		
<i>Explain:</i>		
2.	Destroy, remove or replace historic fabric? .....	
<i>Explain:</i>		
3.	Introduce, reintroduce or remove non-historic elements (physical, visible, audible, and atmospheric) of a historic structure or environment? .....	
<i>Explain:</i>		
4.	Cause deterioration of historic fabric, terrain or setting? .....	
<i>Explain:</i>		
5.	Substantially alter any ground cover or vegetation and/or diminish habitat? Affect an endangered, rare or threatened species? .....	

## PRESIDIO TRUST PROJECT SCREENING FORM

*Explain:*

**17.** Substantially increase the amount of energy or water used? Use sustainable materials and/or appliances designated in the Presidio Green Building Guidelines?.....

*Explain:*

**18.** Substantially increase the amount of waste generated? .....

*Explain:*

**19.** Increase light or glare?.....

*Explain:*

**20.** Block an existing view, be visually intrusive or contribute to a degraded visual condition?.....

*Explain:*

**21.** Maintain or create a public or employee safety or health hazard?.....

*Explain:*

**22.** Create or contribute to a fire hazard or increase the demands for fire department services? Increase demand for police services or create an attractive nuisance?.....

*Explain:*

### Comments, Questions and Suggestions:

Did you find this new format user-friendly?..... ☐ Yes

☐ No

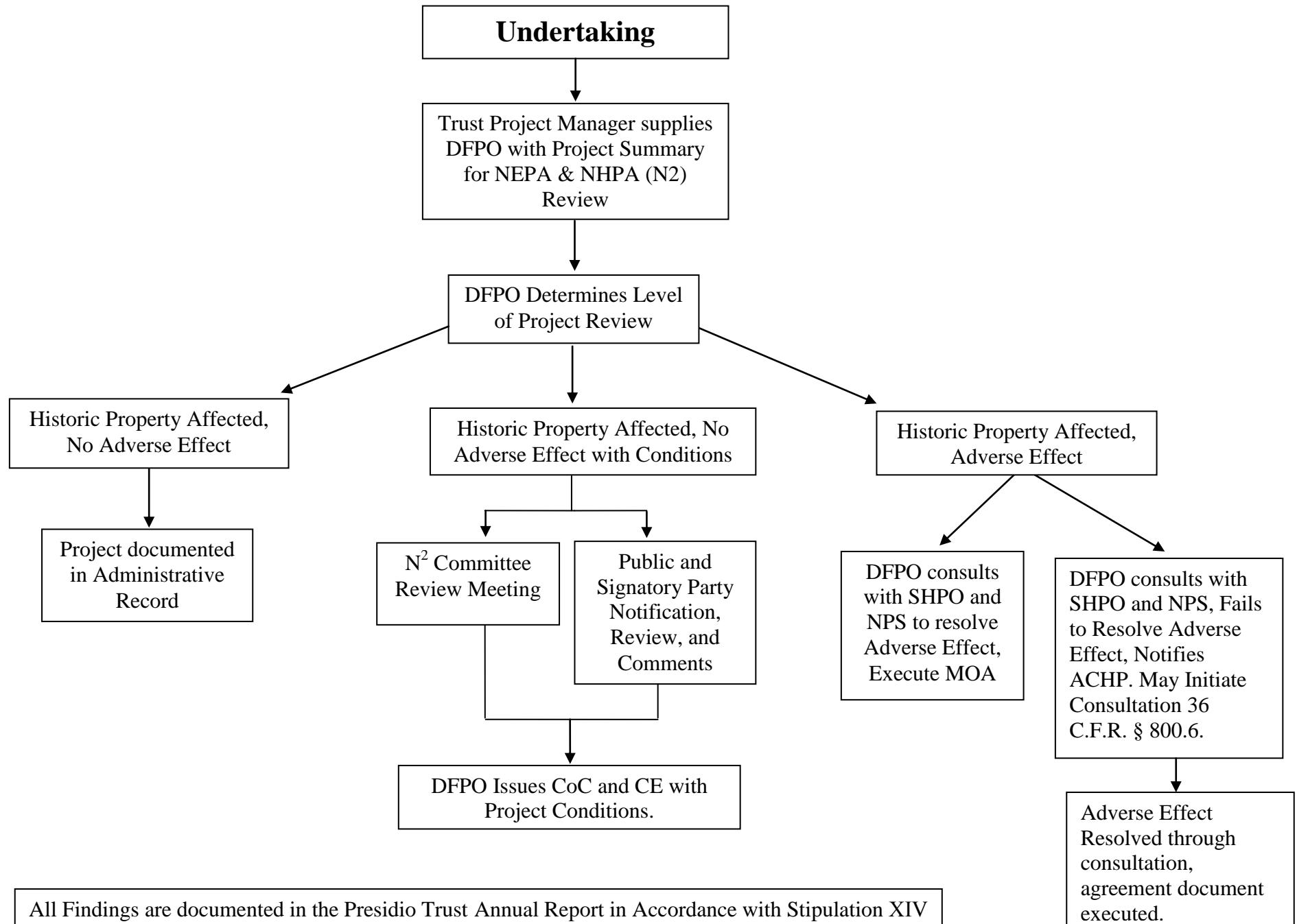
Why?

## PRESIDIO TRUST PROJECT SCREENING FORM

	<i>Explain:</i>	
6.	Attract animal or insect pests? .....	
	<i>Explain:</i>	
7.	Inhibit surface water drainage, alter the landscape topography, lead to increased runoff or erosion or compromise slope stability? .....	
	<i>Explain:</i>	
8.	Involve handling and/or storage of hazardous substances? .....	
	<i>Explain:</i>	
9.	Degrade surface or ground water quality? Substantially alter the type of wastewater generated to the sanitary sewer system or storm drainage? .....	
	<i>Explain:</i>	
10.	Affect wetland, riparian or coastal habitat? .....	
	<i>Explain:</i>	
11.	Be inconsistent with existing or formally proposed land use plans or policies (i.e. the Presidio Trust Management Plan and Mitigation Monitoring Enforcement Program, Vegetation Management Plan etc.)? ..... <i>If unknown, consult the Environmental Protection Specialist</i>	
	<i>Explain:</i>	
12.	Impact current or planned visitor services? Alter current visitor access (parking, trails, roads, etc.)? .....	
	<i>Explain:</i>	
13.	Greatly increase the demand for parking? .....	
	<i>Explain:</i>	
14.	Substantially increase traffic congestion, traffic volume, or adversely affect traffic safety for vehicles, pedestrians and bicyclists?.....	
	<i>Explain:</i>	
15.	Substantially increase vehicle emissions or emissions of other air pollutants? Generate nuisance dust or odors? .....	
	<i>Explain:</i>	
16.	Perceptibly increase the background noise levels or expose people to loud noise? .....	

# Appendix C

# The Presidio Trust N<sup>2</sup> Process



# Appendix D





ongoing; and regardless of eligibility or contributing status of those resources the Trust does not propose to change the Main Post Update to the PTMP projects associated with those resources; and

**WHEREAS**, the Trust has consulted with the National Park Service’s PWRO and the GGNRA regarding the effects of the undertaking on historic properties and has invited them to sign this Programmatic Agreement (Agreement) as an invited signatory; and

**WHEREAS**, in accordance with 36 CFR § 800.6(a)(1) and Stipulation X of the PTPA, the Trust has notified the ACHP of its adverse effect determination providing the specified documentation, and the ACHP has chosen to participate in the consultation pursuant to 36 CFR § 800.6(a)(1)(iii); and

**WHEREAS**, pursuant to 36 CFR § 800.2 (c)(5) the National Trust for Historic Preservation, Presidio Historical Association, San Francisco Architectural Heritage, Descendents of the de Anza and Portola Expedition, Sierra Club, National Parks Conservation Association, Barbara Voss (archaeologist), People for a Golden Gate National Recreation Area, Cow Hollow Association, Neighborhood Association for Planning at the Presidio, Laurel Heights Improvement Association, Marina Community Association, San Francisco Film Society, Interfaith Center at the Presidio, Contemporary Art Museum at the Presidio, and Larkspur Hotels and Restaurants have participated in the consultation, and have been invited to be concurring parties to this Agreement; and

**WHEREAS**, the Trust consulted with representatives of Native American groups identified by the California Native American Heritage Commission as having knowledge of cultural resources in the project area and San Francisco County, and has incorporated comments from that consultation into this Agreement; and

**WHEREAS**, the Trust documented the findings of effect in a document called *Finding of Effect for the Main Post Update* (Appendix B), which was released in July 2009; and

**WHEREAS**, the ACHP requested a report from the Director of the NPS under Section 213 of the National Historic Preservation Act (NHPA) [16 U.S.C. § 470u] detailing the significance of the NHL, describing the effects of the Undertaking on the NHL, and recommending measures to avoid, minimize, or mitigate adverse effects, in August 2008; and

**WHEREAS**, the National Park Service’s PWRO submitted its completed Section 213 report to the ACHP in April 2009 (available on the Trust website at <http://www.presidio.gov/trust/projects/mp/mpdocs.htm>) which concurred with the Trust’s finding of adverse effect, and informed the consultation; and

**WHEREAS**, the Art Museum proposal included in the February 2009 MPU was withdrawn in July 2009; and

**WHEREAS**, the Trust, through the consultation process and in compliance with the NHPA, including Sections 106 and 110(f), has modified the Undertaking to avoid, minimize or mitigate the adverse effects identified in the *Finding of Effect for the Main Post Update*, and described this modified Undertaking in a *Final Main Post Update* (August 2010); and

**WHEREAS**, the Trust has proposed the removal or relocation of Buildings 40 and 41 as part of the El Presidio: The Birthplace of San Francisco project; and

**WHEREAS** the Trust is conducting a parallel review process in accordance with the National Environmental Policy Act (NEPA) for the development of a Supplemental Environmental Impact

Statement, which has included the solicitation of public input on the potential impacts of the Undertaking on historic properties; and

**WHEREAS**, all projects located in the Main Post that are not described in the following stipulations will be reviewed according to Stipulation VII of the Presidio Trust Programmatic Agreement (PTPA); and

**NOW, THEREFORE**, the Trust, ACHP, SHPO, and NPS agree that the Undertaking will be implemented in accordance with the following stipulations in order to take into account the effect of the Undertaking on historic properties.

# CONTENTS

111		
112		
113	<b>I.</b>	<b>ROLES AND RESPONSIBILITIES .....5</b>
114	<b>II.</b>	<b>TREATMENT OF HISTORIC PROPERTIES .....5</b>
115	A.	SUMMARY OF TREATMENT MEASURES AND LIMITS OF NEW CONSTRUCTION.....5
116	B.	DEVELOPMENT OF DESIGN GUIDELINES & CULTURAL LANDSCAPE DOCUMENTATION .....9
117	C.	PROJECT DESIGN REVIEWS – NEW CONSTRUCTION AND REHABILITATION.....11
118	D.	HABS/ HALS DOCUMENTATION .....11
119	E.	HISTORIC STRUCTURES REPORTS .....12
120	F.	SALVAGE.....12
121	G.	ARCHAEOLOGY PROCESS .....12
122	H.	ARCHAEOLOGY PROGRAM FOR EL PRESIDIO & THE MAIN POST .....14
123	I.	INDIVIDUAL ELIGIBILITY OF POST-WORLD WAR II RESOURCES .....15
124	<b>III.</b>	<b>PTPA UPDATE .....15</b>
125	<b>IV.</b>	<b>ADMINISTRATIVE STIPULATIONS .....15</b>
126	A.	REPORTING.....15
127	B.	PROFESSIONAL STANDARDS .....15
128	C.	REPORT DISSEMINATION.....15
129	D.	POST REVIEW DISCOVERIES .....15
130	<b>V.</b>	<b>DISPUTE RESOLUTION .....16</b>
131	A.	RAISING & RESOLVING OBJECTIONS – SIGNATORY PARTIES.....16
132	B.	RAISING AND RESOLVING OBJECTIONS – CONCURRING PARTIES .....17
133	<b>VI.</b>	<b>AMENDMENTS AND TERMINATION.....17</b>
134	A.	AMENDMENT .....17
135	B.	TERMINATION .....17
136	<b>VII.</b>	<b>DURATION .....17</b>
137	<b>VIII.</b>	<b>CONCURRING PARTY INVOLVEMENT IN IMPLEMENTATION OF THIS AGREEMENT .....18</b>
138		<b>SIGNATORY PARTIES..... 19-22</b>
139		<b>LIST OF APPENDICES.....23</b>

143  
144  
145  
146  
147  
148

## STIPULATIONS

The Trust shall ensure that following measures are carried out:

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### I. ROLES AND RESPONSIBILITIES

149 A. The Presidio Trust, the SHPO, and the NPS will review and comment on draft designs  
150 submitted in accordance with Stipulation II(C) and draft and/or comment on documents  
151 submitted in accordance with Stipulation II(B), (D) and (E), may raise and resolve  
152 objections according to Stipulation V(A) and may amend or terminate this agreement  
153 according to Stipulation VI. The NPS, as an invited signatory, will have the same roles  
154 and responsibilities as the other signatory parties. The Trust will be responsible for  
155 organizing public meetings, distributing materials for review during the design  
156 development process, and reporting in accordance with Stipulations II(C) and IV(A).

157 B. The ACHP may raise objections according to Stipulation V(A) and resolve objections  
158 according to Stipulation V(B) and may amend or terminate this agreement according to  
159 Stipulation VI. The ACHP will not participate in design reviews described under  
160 Stipulation II(C).

161 C. Concurring parties may review and comment on draft designs and treatment plans  
162 submitted pursuant to Stipulation II(C) and may raise objections according to Stipulation  
163 V(B). Consulting parties that do not concur with the PA-MPU will have the same  
164 participation opportunities as the public.

165 D. The public may participate and comment in public meetings according to Stipulation II(C).

166

### II. TREATMENT OF HISTORIC PROPERTIES

167

#### A. Summary of Treatment Measures and Limits of New Construction

168 For components of the Undertaking determined to result in adverse effects to historic  
169 properties and to the cultural landscape as documented in the final Finding of Effect for  
170 the Main Post Update (Appendix B), measures to avoid, minimize and mitigate the  
171 adverse effects of the Undertaking are described below. References below to the  
172 “Secretary’s Standards” refer to the Secretary’s Standards for the Treatment of Historic  
173 Properties: Standards for Preservation, Rehabilitation, Restoration and Reconstruction  
174 (NPS, 1995 and updates); the Secretary’s Standards for Treatment of Cultural Landscapes  
175 (NPS, 1996 and updates); and/or the Secretary’s Standards and Guidelines for  
176 Archaeology and Historic Preservation (NPS, 1983 and updates). It would not be  
177 uncommon for multiple standards to apply to a single component of the Undertaking.

178                   **1.     Project-Specific Treatments**

179                   **a.   El Presidio: The Birthplace of San Francisco**

180                   The archaeological program at El Presidio may only proceed as follows:

181                   i. Standards and guidelines to direct archaeological efforts at El Presidio will be  
182                   developed and will apply to all work undertaken at the site, including work by  
183                   professional and academic partners of the Trust; terms and details for these  
184                   standards and guidelines to direct archaeological methods at El Presidio are set  
185                   forth in Stipulation II(H).

186                   ii. Treatment recommendations will be developed for the phased implementation  
187                   of an interpretive landscape at El Presidio, including:

188                               1. Reduction of parking from 252 daily stalls to 75 daily stalls, and;

189                               2. Measures to periodically close Moraga Avenue, Mesa and Graham  
190                               Streets using removable bollards for ongoing excavation and special  
191                               events, and;

192                               3. Representations of the dimensions and layout of the colonial  
193                               settlement, and measures to rehabilitate the character-defining features of  
194                               the *plaza de armas*.

195                   Review of schematic designs for above will be conducted according to terms set  
196                   forth in Stipulation II(C).

197                   iii. Prior to implementing a course of action involving NHL-contributing  
198                   Buildings 40 or 41 the Trust will consult with signatory and concurring parties  
199                   according to terms set forth in Stipulation II(C)(2).

200                   **b.   Archaeology Lab and Curation Facilities**

201                   Rehabilitation, new construction, and demolition associated with the  
202                   Archaeology Lab and Curation Facility may only proceed as follows:

203                   i. NHL-contributing Building 46 will be demolished. Prior to demolition,  
204                   Building 46 will be fully documented according to the Historic American  
205                   Buildings Survey (HABS) according to terms set forth in Stipulation II(D).

206                   ii. A connecting structure not to exceed 500 square feet (sq/ft) will be constructed  
207                   between Buildings 47 and 48, with a height not to exceed the roof ridge of  
208                   Buildings 47 and 48; new construction will follow conceptual plans attached as  
209                   Appendix C; review of rehabilitation and new construction for Buildings 47, 48,  
210                   and the new connector will be conducted according to terms set forth in  
211                   Stipulation II(C), and will follow conceptual plans attached as Appendix C.

212                   iii. The Trust and NPS-GGNRA will cooperatively draft an agreement on the  
213                   management of archaeological collections recovered from the Presidio NHL  
214                   within six (6) months of executing this agreement.

215                   **c.   Presidio Lodge**

216 Rehabilitation and new construction associated with the Presidio Lodge may only  
217 proceed as follows:

218 i. Non-NHL contributing Building 34 will be demolished.

219 ii. Total new construction for lodging use on the site bound by Lincoln  
220 Boulevard, Sheridan Avenue, Graham and Anza Streets will not exceed 70,000  
221 sq/ft (reference conceptual site plan attached as Appendix D).

222 iii. New construction will be roughly based on the historic barracks layout that  
223 was present between Anza and Graham Streets (ca. 1860-1945), with heights not  
224 to exceed 30'; the southern edge of new construction will be set back no less than  
225 150' from Building 95 (reference conceptual site plan attached as Appendix D).

226 iv. Designs for foundations, utility connections and underground parking using  
227 the basement of Building 34 will take into account the presence of subsurface  
228 archaeological features, and the Trust will seek solutions through the review  
229 process to avoid adverse effects associated with excavation.

230 v. Buildings 86 and 87 may be adaptively reused for lodging according to  
231 treatment recommendations in an HSR, developed according to terms set forth in  
232 Stipulation II(E) and the Secretary's Standards.

233 vi. Prior to completion of schematic designs for the Presidio Lodge, an  
234 Archaeological Management Assessment (AMA) will be prepared (reference  
235 Stipulation II(G)). If the AMA anticipates an adverse effect to archaeological  
236 features, the Trust will draft a proposed Treatment Plan according to terms set  
237 forth in Stipulation II(G)2.

238 vii. Reviews of rehabilitation and new construction will be conducted according  
239 to terms set forth in Stipulation II(C) and will follow conceptual plans attached as  
240 Appendix D.

241 **d. Presidio Theatre**

242 Rehabilitation and new construction associated with the Presidio Theatre  
243 (Building 99) may only proceed as follows:

244 i. The *Finding of Effect for the Main Post Update* acknowledges that construction  
245 of an 18,000 sq/ft addition would have an adverse effect on the Theatre. In order  
246 to minimize that effect, Building 99 and its surrounding landscape will be  
247 rehabilitated and new construction designed according to the treatment  
248 recommendations in an HSR, developed according to terms set forth in  
249 Stipulation II(E). The HSR will presume an addition of 18,000 square feet.;

250 ii. The interior of Building 99 will be retained as a single auditorium.

iii. An addition not to exceed 18,000 sq/ft, including a transparent connector, may be located to the west of Building 99, with a height not to exceed the eave of Building 99.

iv. Designs for the addition will take into account the presence of subsurface archaeological features, and the Trust will seek solutions through the review process to avoid adverse effects associated with excavation.

v. Review of rehabilitation and new construction will be conducted according to terms set forth in Stipulation II(C) below, and will follow conceptual plans attached as Appendix E.

**e. Presidio Chapel**

Rehabilitation and new construction associated with the Presidio Chapel (Building 130) may only proceed as follows:

i. In order to minimize the effect of an addition, Building 130 and its surrounding landscape will be rehabilitated and new construction designed according to the treatment recommendations in an HSR, developed according to terms set forth in Stipulation II(E). The HSR will presume an addition of 4,000 square feet.

ii. An addition not to exceed 4,000 sq/ft may be located to the west of Building 130, with a height not to exceed the sills of the west elevation windows; the addition will be perpendicular to the west wall of the sanctuary, allowing a large portion of the west wall to be visible.

iii. Designs for the addition will take into account the presence of subsurface archaeological features and the Trust will seek solutions through the review process to avoid adverse effects associated with excavation.

iv. Review of rehabilitation and new construction will be conducted according to terms set forth in Stipulation II(C), and will follow conceptual plans attached as Appendix F.

**f. Pedestrian Access & Parking Improvements**

Pedestrianization of specified roads and development of the following parking facilities in the Main Post may only proceed in accordance with the Secretary's Standards and as follows:

i. Traffic signals will not be installed at any location in the Main Post.

ii. Portions of Arguello Boulevard (between Moraga and Sheridan Avenues) and Sheridan Avenue (between Graham and Montgomery Streets) will be closed to vehicular traffic using removable bollards; historic widths and alignments of these NHL-contributing resources will be retained and roads will be resurfaced with a historically compatible paving material; reviews for treatment of historic roads will be conducted according to terms set forth in Stipulation II(C).



iii. In coordination with the SHPO, a determination of eligibility (DOE) to the National Register of Historic Places (NRHP) will be completed regarding Building 385 in accordance with Stipulation II(I), as associated with the Moraga Avenue parking lot, within three (3) months after the execution of the Agreement. If the building is found eligible to the NRHP the building will be documented in accordance with Stipulation II(D)(1).

iv. Parking lots at Taylor Road and Moraga Avenue will be developed to avoid adverse effects to Buildings 113, 118 and 386, according to conceptual plans attached as Appendix G; treatment of archaeological resources will follow terms set forth in Stipulation II(G).

v. The Main Post Bluff parking facility will be developed according to conceptual plans attached as Appendix G; an archaeological Identification Plan will be developed for the Main Post Bluff parking facility prior to completion of schematic designs. An AMA will be prepared based on any additional testing that may be required according to the Identification Plan. If the AMA anticipates an adverse effect to archaeological features, the Trust will draft a proposed Treatment Plan according to terms set forth in Stipulation II(G)2.

vi. Reviews for the design of the parking facility will be conducted according to terms set forth in Stipulation II(C).

## **B. Development of Design Guidelines & Cultural Landscape Documentation**

### **1. Cultural Landscape Report**

The Trust will organize, update and supplement existing cultural landscape documentation into a Cultural Landscape Report for the Main Post (CLR-MP) according to the format recommended by Chapter 7 (Management of Cultural Landscapes) of NPS 28: Cultural Resource Management Guideline within six (6) months of the execution of this agreement document. The CLR-MP will be developed according to the process described in Appendix K.

Focused cultural landscape and planning & design guidelines may be completed for the Chapel, Theater and Taylor Road Parking areas prior to the completion of the broader CLR-MP and Main Post Planning & Design Guidelines. These focused studies would receive the same level of review as the larger studies, as described in Appendix K.

### **2. Main Post District-Wide Guidelines**

The Planning District Concepts and Guidelines for the Main Post District that are included in the 2002 PTMP (pp. 62-69) remain the overarching guidance under this Agreement. The Trust will also revise the February 2007 Main Post Planning & Design Guidelines (available on the Trust's website at [www.presidio.gov](http://www.presidio.gov)) according to the Final Main Post

Update within six (6) months of the execution of this agreement. The updated Main Post Planning & Design Guidelines will be appended to the CLR-MP, and developed according to the process described in Appendix K.

### **3. Project-Specific Design Guidelines**

Project-specific design guidelines for the Presidio Lodge, Presidio Theatre and Presidio Chapel will be based on the CLR-MP, revised Main Post Planning and Design Guidelines, and treatment recommendations in the HSRs for the applicable buildings. These design guidelines shall be finalized as part of the HSR for each project, and shall constitute final design guidelines, to be considered in project design reviews as set forth in Appendix K.

### **4. Coordination with Design of the Main Parade**

- a. Guidelines will be included in the updated Main Post Planning and Design Guidelines to ensure compatibility between the Presidio Lodge design and the rehabilitated Main Parade.
- b. Project specific design guidelines for the Presidio Lodge will incorporate directives from the Main Post Planning and Design Guidelines ensuring compatibility between the new Lodge construction and the adjacent Main Parade.
- c. Prior to finalizing schematic designs for the eastern edge of the Main Parade (also known as the “Anza Esplanade”, reference Appendix H), the Trust will hold a public meeting on the proposed design for that feature.
- d. Following the public meeting the Trust FPO or designee will distribute a 90% design development submittal to the signatory and concurring parties for review. The design submittal will be made available via the Trust website ([www.presidiotrust.gov](http://www.presidiotrust.gov)), in hard copy in the Trust’s Library, or in hard copy mailed upon request.
- e. Written comments from the signatory parties on these design submissions received by the Trust within twenty-one (21) calendar days of the submission will be considered. If a party does not comment within twenty-one (21) calendar days, and does not notify the Trust and request an additional period to submit comments that shall not exceed ten (10) calendar days, the Trust may proceed.

**C. Project Design Reviews – New Construction and Rehabilitation**

**1. Design Review Steps, Process for PA-MPU Projects**

- a. Using site-specific and district-wide design guidelines, the design guidelines in the PTMP, and/or treatment recommendations from HSRs, the Trust FPO or designee will work with project proponents to develop designs for new construction and rehabilitation described under Stipulation II(A)(1)(a-f).
- b. The Trust is responsible for ensuring that design submittals are complete prior to distributing them for review. These designs will be submitted to signatory and concurring parties, and the public, for further consultation and comment according to the processes described in Appendix K.
- c. The Trust FPO or designee will be responsible for notifying participating parties of the intent to hold public meetings and on-site briefings in accordance with Appendix K at least thirty (30) calendar days prior to the event taking place.

**2. Consultation on Treatment of Buildings 40 and 41**

- a. Prior to completion of schematic designs for El Presidio interpretive landscape, and after the completion of the CLR, the Trust will initiate consultation with signatory and concurring parties to determine the appropriate treatment of Buildings 40 and 41, and will consider all measures for avoidance, minimization or mitigation.
- b. Because the landscape design for El Presidio will be phased, phases of the plan that do not propose to adversely affect Buildings 40 and 41 may proceed according to the process described in Appendix K. Implementation of earlier phases of the treatment plan will not preclude any outcome as to the final treatment of Buildings 40 or 41.
- c. The Trust FPO or designee will initiate consultation by notifying signatory and concurring parties of its intent to hold a public meeting thirty (30) calendar days prior to scheduling the meeting. Trust staff will present proposals, with the full range of treatment options, related to the above-referenced project at the session and will solicit comment from attendees. Following the public meeting, the Trust, NPS, SHPO and concurring parties will meet to consider the proposals and comments from the meeting and discuss how effects should be resolved.
- d. Where the parties agree on how effects will be resolved, they shall document such agreement along with a process for implementing the terms of agreement (including, but not limited to, documentation, rehabilitation and/or relocation plans, or other mitigation measures).
- e. If, after consultation, the parties do not agree on how effects will be resolved, then the FPO or designee shall notify the ACHP and treat the matter as an objection under the terms of Stipulation V(A) Dispute Resolution.

**D. HABS/ HAER/HALS Documentation & Other Mitigation Measures**

1. Prior to demolition of Building 46, finalizing the treatment plan for Buildings 40 or 41, or demolition of any building that has been found individually eligible to the NRHP in accordance with Stipulation II(I) or that is subsequently found to be contributing to the NHL, the Trust will complete recordation and documentation of these resources, as necessary, in accordance with the *Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation*, prior to start of construction. The Presidio Trust shall consult with the NPS HABS/HAER/HALS program in the PWRO to determine the level and kind of recordation appropriate for the resources.
2. In addition to the requisite copies for final submission to the Heritage Documentation Programs, the Trust will make archival, digital and bound library-quality copies of HABS/HAER/HALS documentation available, as appropriate, to the NPS/GGNRA Archives and Records Center.
3. The signatory parties may develop additional mitigation measures to resolve the demolition of eligible or contributing buildings through consultation not to exceed fifteen (15) calendar days. Where the signatory parties agree on the development of additional mitigation measures, they shall document such agreement along with a process for implementing the terms of agreement. If, after consultation, the signatory parties do not agree on the development of additional mitigation measures, then the FPO or designee shall notify the ACHP and treat the matter as an objection under the terms of Stipulation V(A) Dispute Resolution.

#### **E. Historic Structures Reports**

1. The Trust will prepare HSRs for Buildings 86/87, 99 and 130. The HSRs will be written in accordance with the standards established in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports* (National Park Service, 2005). The HSRs will include a history of the property/building, construction history, archaeology, architectural evaluation, conditions assessment, maintenance requirements, recommendations for proposed work, copies of original drawings and specifications (if available), current drawings if different from the original, and historic and current photographs.
2. HSRs will be developed following the execution of this agreement document, and completed prior to additional design development. HSRs will be developed according to the process described in Appendix K.

#### **F. Salvage**

For the historic properties that will be demolished under Stipulation II(A), the Trust's qualified personnel will conduct a documented inspection to identify architectural elements and objects that may be reused in rehabilitating similar historic structures, or that may be preserved in a museum collection in accordance with the Secretary's Standards. These decisions will be included in the annual report submitted according to Stipulation IV(A).

#### **G. Archaeology Process**

The Trust shall take all reasonable measures to protect archaeological sites and features identified inside the NHL. To accomplish this and inform the design process, an

Archaeological Management Assessment (AMA) shall be prepared for individual projects or groups of related projects described under Stipulation II(A)(1)(a-g) by a qualified archaeologist prior to the completion of schematic design. The Trust's Principal Archaeologist will provide copies of completed AMA's in the Trust's PTPA Annual Report. Based on the assessment in the *Final Finding of Effect*, the AMA will outline a course of action for the projects. This course of action shall include one or more of the following:

#### **1. Identification Plan**

A project-specific plan shall be developed at the completion of the schematic phase for projects anticipated to have an adverse effect but that require further identification to understand the content and dimensions of the features, to assess the nature and extent of the effect, and/or to guide continuing efforts to avoid or minimize the adverse effect. For archaeological features identified the Trust may assume eligibility. Identification will further refine recommendations in the AMA and may lead to a monitoring or treatment plan.

#### **2. Treatment Plan**

A project-specific plan shall be developed for those projects that have unavoidable adverse effects and where existing identification is sufficient to proceed to treatment, or for which further identification is incorporated within the treatment plan. If through identification the plan anticipates and includes the treatment of prehistoric resources the Trust will seek to incorporate Native American comments and concerns, taking into account direct affects to cultural resources as well as indirect affects to Native American cultural values. The plan will describe protection measures for unaffected archaeological features, relevant research questions to be answered, methods for data recovery, monitoring during construction, responsibilities and coordination, and the interpretation and curation of recovered materials. The plan will describe the mitigation sufficiently to serve as a scope of work and for the purpose of developing a budget. Treatment Plans will be reviewed according to terms set forth in Appendix K.

#### **3. Monitoring Plan**

A project-specific plan shall be developed for those projects that are not anticipated to have an adverse effect, or that have been designed to avoid adverse effect during design development but that nonetheless are within proximity to identified or predicted archaeological features. The monitoring plan will describe measures to protect archaeological features, and in the event that Native American human remains are encountered will include protocol measures adhering to NAGPRA and all applicable state and federal laws; the monitoring plan will also include the proposed location and frequency of monitoring along with required documentation procedures. Measures to identify, assess, and determine the appropriate treatment of archeological features should they be encountered will be consistent with the discovery protocols.

#### **4. Discovery Protocol**

A standard response protocol shall be developed by the Trust within thirty (30) calendar days of the execution of this agreement for all projects in the event of a discovery. For projects without any anticipated effects, this will be the only condition required prior to implementation. In the event of a discovery the Trust may assume

eligibility for the purposes of treatment. Should circumstances arise where the Trust cannot address discoveries in a manner consistent with the protocol, the Trust shall notify the SHPO and NPS of the discovery and any project-related time constraints, then agree upon reasonable time frames for consultation. The Trust shall take into account any timely comments prior to making a final decision on treatment. This protocol will describe the Trust's methods to comply with the Archaeological Resources Protection Act and Native American Graves Protection and Repatriation Act.

## **H. Archaeology Program for El Presidio and the Main Post**

In keeping with the Secretary of the Interior's Standards for Preservation Programs pursuant to Section 110 of the NHPA (1998) the Trust shall institute an archaeology program to further identify, research, and use the archeological sites and features within the NHL as public interpretive facilities. This effort will focus on El Presidio and will include ongoing scholarship, incremental conservation-minded excavation, landscape commemoration that preserves subsurface features, interpretation of the archaeology process and findings for the public, and dissemination of the information being recovered through educational programs. To provide necessary detail for the management approach, the archaeological methods involved, and the landscape designs for the site of El Presidio described under Stipulation II(A)(1)(a), the Trust will further develop the following documents:

### **1. Levantar**

The Trust shall update and finalize *Levantar* the Archaeological Management Plan (AMP) for El Presidio (drafted and reviewed in 2004 per Stipulation XII(E) of the PTPA, and available on the Trust's website at [www.presidiotrust.gov](http://www.presidiotrust.gov)) within ninety (90) calendar days of the execution of this agreement to reflect the direction provided in the Main Post Update and in this Agreement. Following execution of this Agreement, the updated version of *Levantar* will be distributed to the signatory and concurring parties to this PA via the Trust's website ([www.presidiotrust.gov](http://www.presidiotrust.gov)) and via hard copy in the Trust's Library for comment. Written comments from the parties that are received by the Trust within ninety (90) calendar days of the review session will be considered. If a party does not comment within ninety (90) calendar days, and does not notify the Trust to request an additional period to submit comments that shall not exceed ten (10) calendar days, the Trust may proceed with finalization of the document.

### **2. Standards and Guidelines**

The Trust shall develop standards and guidelines to direct archaeological methods at El Presidio and the Main Post for field investigations, laboratory processes, mapping, and reporting. These standards and guidelines will facilitate both current interpretation and future research, and will ensure consistency amongst the various archaeological initiatives of the Trust and its academic and professional partners. These standards will be informed by the agreement developed between NPS-GGNRA and the Trust referenced in Stipulation II(A)(1)(b)(iii). The standards and guidelines will be completed within twenty-four (24) months of the execution of this Agreement, and will be submitted to SHPO for a twenty-one (21) calendar day review. This report will be periodically updated to reflect developments in the field of archaeology.

531 **I. Individual Eligibility of Post-World War II Resources**

532  
533 Within three (3) months of execution of this Agreement, the Trust will complete a DOE  
534 to the NRHP eligibility with the SHPO for post-World War II resources in the Main Post,  
535 particularly Buildings 34, 63, 68, 93, 98, 205, 215, 231, 385 and 387. If a building is  
536 found individually eligible to the NRHP it will be documented in accordance with  
537 Stipulation II(D)(1) prior to start of construction.

538 **III. PTPA UPDATE**

539  
540 The Trust will initiate consultation to review the PTPA for amending or updating with that  
541 document's signatory and concurring parties within six (6) months of executing this  
542 Agreement with the goal of completion by 2013 when the PTPA expires.

543  
544 **IV. ADMINISTRATIVE STIPULATIONS**

545  
546 **A. Reporting**

547 On or before January 30 of each reporting year, so long as this Agreement is in effect, the  
548 Trust will include project updates in conjunction with its PTPA annual report, describing  
549 how the agency is carrying out its responsibilities under this Agreement. The Trust will  
550 make the annual report available via its website ([www.presidiotrust.gov](http://www.presidiotrust.gov)), and a hard copy  
551 in the Trust Library, and through a mailing to the signatory and concurring parties to this  
552 agreement.

553 **B. Professional Standards**

554 All activities regarding history, collections management, historical archaeology and  
555 prehistoric archaeology, architecture, landscape architecture, and architectural history  
556 that are accomplished pursuant to this Agreement will be carried out by or under the  
557 direct supervision of persons meeting the *Secretary of the Interior's Professional*  
558 *Qualification Standards* relevant to the portion of the project being considered.

559 **C. Report Dissemination**

560 The Trust will require that all reports resulting from implementation of treatment plans,  
561 the AMP and AMAs meet contemporary professional standards and the *Secretary of the*  
562 *Interiors Standards for the Treatment of Historic Properties*; the *Secretary of the*  
563 *Interior's Standards and Guidelines for Archaeological Documentation*; and the  
564 "Secretary of the Interior's Standards and Guidelines for Architectural and Engineering  
565 Documentation" (*Federal Register*, 2003). Copies of all final reports will be provided to  
566 SHPO, the Northwest Information Center at Sonoma State University, and the  
567 NPS/GGNRA Archives and Records Center.

568 **D. Post Review Discoveries**

569 If it appears that an undertaking will affect a previously unidentified property that may be  
570 eligible for inclusion in the National Register, or that may contribute to the NHL, or  
571 affect a known historic property in an unanticipated manner, the Trust will stop  
572 construction activities in the vicinity of the discovery and take all reasonable measures to  
573 avoid or minimize harm to the property. The Trust shall notify signatories within two (2)  
574 working days of the discovery by phone and shall e-mail and describe the FPO or  
575 designee's assessment of National Register eligibility of the property and proposed

actions to resolve the adverse effects. The signatory parties shall respond within two (2) working days of the notification by e-mail. The Trust FPO or designee shall take into account their recommendations regarding National Register eligibility and proposed actions, and then shall carry out appropriate actions. The Trust FPO or designee shall provide the signatories a report of the actions when they are completed.

## **V. DISPUTE RESOLUTION**

### **A. Raising and Resolving Objections – Signatory Parties**

1. Should any signatory party object to the manner in which the terms of this Agreement are implemented or to any documentation prepared in accordance with and subject to the terms of this Agreement, the party will notify the Trust and the other signatory parties. The Trust will consult with the other signatory parties for no more than fourteen (14) calendar days to resolve the objection, once the Trust notifies all signatory parties of the objection. If the signatory parties agree that the objection is resolved through such consultation, the issue in question may proceed in accordance with the terms of that resolution. An extension of the consultation period may be requested by signatory parties not to exceed an additional ten (10) calendar days.
2. If, after initiating such consultation, the Trust determines that the objection cannot be resolved through consultation, the Trust FPO or designee will forward all documentation, including the Trust's proposed response to the objection, to the ACHP.
  - a. The ACHP shall provide the Trust with its advice on the resolution of the objection within thirty (30) calendar days of receiving the documentation. Prior to reaching a final decision on the dispute, the Trust shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and shall provide them with a copy of this written response. The Trust will then proceed according to its final decision.
  - b. If the ACHP does not provide its advice regarding the dispute within the thirty (30) calendar day time period, the Trust may make a final decision on the dispute and may proceed accordingly. Prior to reaching such a final decision, the Trust shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the Agreement, and shall provide all parties to this Agreement with a copy of such written response.
  - c. The Trust's responsibility to carry out all other actions subject to the terms of this Agreement that are not the subject of the dispute shall remain unchanged.

### **B. Raising and Resolving Objections – Concurring Parties**

The Trust will respond to objections raised by concurring parties and the public in writing within thirty (30) calendar days of receiving the objection. The Trust will provide copies of all objections made by concurring parties to the signatory parties. The Trust may discuss with signatory parties issues that are raised by concurring



parties prior to responding. The Trust will provide concurring and signatory parties concurrently with a copy of its final written decision regarding any objection.

## **VI. AMENDMENTS AND TERMINATION**

### **A. Amendment**

Any amendment to this Agreement must be made in writing and signed by all signatories. While consultation on the amendment is underway, the terms of the existing PA will remain in effect. The amendment will be effective on the date a copy signed by all of the signatories is received by the ACHP or such later date as may be specified in the amendment.

### **B. Termination**

1. If any signatory party to this Agreement determines that its terms will not or cannot be carried out, that party shall immediately consult with the other parties to attempt to develop an amendment per Stipulation V(A), above. If within thirty (30) calendar days (or within another time period agreed to by all signatories) an amendment cannot be reached, any signatory party may terminate the Agreement upon written notification to the other signatory parties.
2. Once the Agreement is terminated, and prior to work continuing on the Undertaking, the Trust shall either (a) execute a programmatic agreement pursuant to 36 CFR § 800.14(b)(3), or (b) review such projects under Subpart B of 36 CFR Part 800. The Trust shall notify the signatories as to the course of action it will pursue.

## **VII. DURATION**

- A. This Agreement will be in effect through the Trust's implementation of the Undertaking, and will expire and have no further force or effect when the Trust, in consultation with the other signatories, determines that the terms of this Agreement have been fulfilled. The Trust will provide the other signatories with written notice of its determination and of the expiration of this Agreement.
- B. Five (5) years after the date of executing this Agreement, the Trust FPO or designee will notify signatory parties in writing to organize a review of the Agreement for the purposes of amending or updating its terms. Ten (10) years after the date of executing this Agreement, if its stipulations are not carried out it will expire and prior to work continuing on the Undertaking, the Trust shall either (a) execute a programmatic agreement pursuant to 36 CFR § 800.14(b)(3), or (b) review such projects under Subpart B of 36 CFR Part 800. Prior to such time, the Trust may consult with the other signatories to reconsider the terms of the Agreement and may extend or amend it in accordance with Stipulation V(A) above. The Trust shall notify the signatories as to the course of action it will pursue.


## **VIII. CONCURRING PARTY INVOLVMENT IN IMPLEMENTATION OF THIS AGREEMENT**

- 674 A. No work stipulated per this Agreement involving concurring parties shall proceed until  
675 forty five (45) calendar days after the execution of this Agreement by the required  
676 signatories.  
677
- 678 B. If a consulting party does not sign this Agreement as a concurring party within forty five  
679 (45) calendar days after the execution of this Agreement by the required signatories, the  
680 Presidio Trust may proceed with work stipulated per this Agreement involving  
681 concurring parties.  
682
- 683 C. A consulting party can become a concurring party after the forty five (45) calendar-day  
684 period with the written agreement of all signatory parties.  
685
- 686 D. If a consulting party becomes a concurring party to the Agreement after forty five (45)  
687 calendar days after the execution of the Agreement subject to stipulation VIII(C) above,,  
688 the Presidio Trust shall not be required to revisit prior completed consultations stipulated  
689 in this Agreement or reconsider previous findings or determinations made prior to the  
690 date that such consulting party becomes a concurring party.  
691

**EXECUTION** of this Agreement by the signatories and implementation of its terms evidence that the Trust has afforded the signatory and consulting parties an opportunity to comment on the Undertaking and its effects, and has taken into account the effects of this Undertaking on historic properties, and further that in compliance with the requirements of 36 CFR Part 800 and Section 110(f) of the NHPA, the Trust has afforded the ACHP a reasonable opportunity to comment on the Undertaking. This Agreement may be executed in any number of counterparts and each counterpart shall be deemed to be an original document. All executed counterparts together shall constitute one and the same document, and any counterpart signature pages may be detached and assembled to form a single original document.

**SIGNATORIES:**

**PRESIDIO TRUST**

By:  Date: 10/21/10

Name: Craig Middleton

Title: Executive Director

709 **ADVISORY COUNCIL ON HISTORIC PRESERVATION**

710 By: John M. Fowler Date: 10/26/10

711 Name: John Fowler

712 Title: Executive Director

713

714 **CALIFORNIA STATE HISTORIC PRESERVATION OFFICER**

715 By: Milford Wayne Donaldson Date: 22 OCT 2010

716 Name: Milford Wayne Donaldson, FAIA

717 Title: State Historic Preservation Officer

718

719 NATIONAL PARK SERVICE

720 By: Frank Dean Date: Oct. 22, 2010 By: Christine S. Lehnertz Date: 10/25/10

721 Names: Frank Dean

Christine S. Lehnertz

722 Titles: Superintendent, Golden Gate National

Director, Pacific West Regional Office

723 Recreation Area

724 **LIST OF APPENDICES**

- 725 Appendix A: Area of Potential Effect (APE) for the Main Post Update (Undertaking)
- 726 Appendix B: Final Finding of Effect for the Main Post Update (July 2009)
- 727 Appendix C: Conceptual Site Plans for the Archaeology Lab and Curation Facility
- 728 Appendix D: Conceptual Site Plans for the Presidio Lodge
- 729 Appendix E: Conceptual Site Plans for the Presidio Theatre
- 730 Appendix F: Conceptual Site Plans for the Presidio Chapel
- 731 Appendix G: Conceptual Site Plans for Pedestrian Access and Parking Improvements
- 732 Appendix H: Conceptual Plans for the Main Parade Rehabilitation
- 733 Appendix I: Presidio Trust Programmatic Agreement (PTPA, 2002)
- 734 Appendix J: Glossary of Terms
- 735 Appendix K: Design Review Steps, Process for PA-MPU Projects

APPENDIX A: AREA OF POTENTIAL EFFECT (APE) FOR THE MAIN POST UPDATE (UNDERTAKING)



Area of Potential Effect  
Main Post Project Area

Source: Presidio Trust, February 2008

Area of Potential Effect

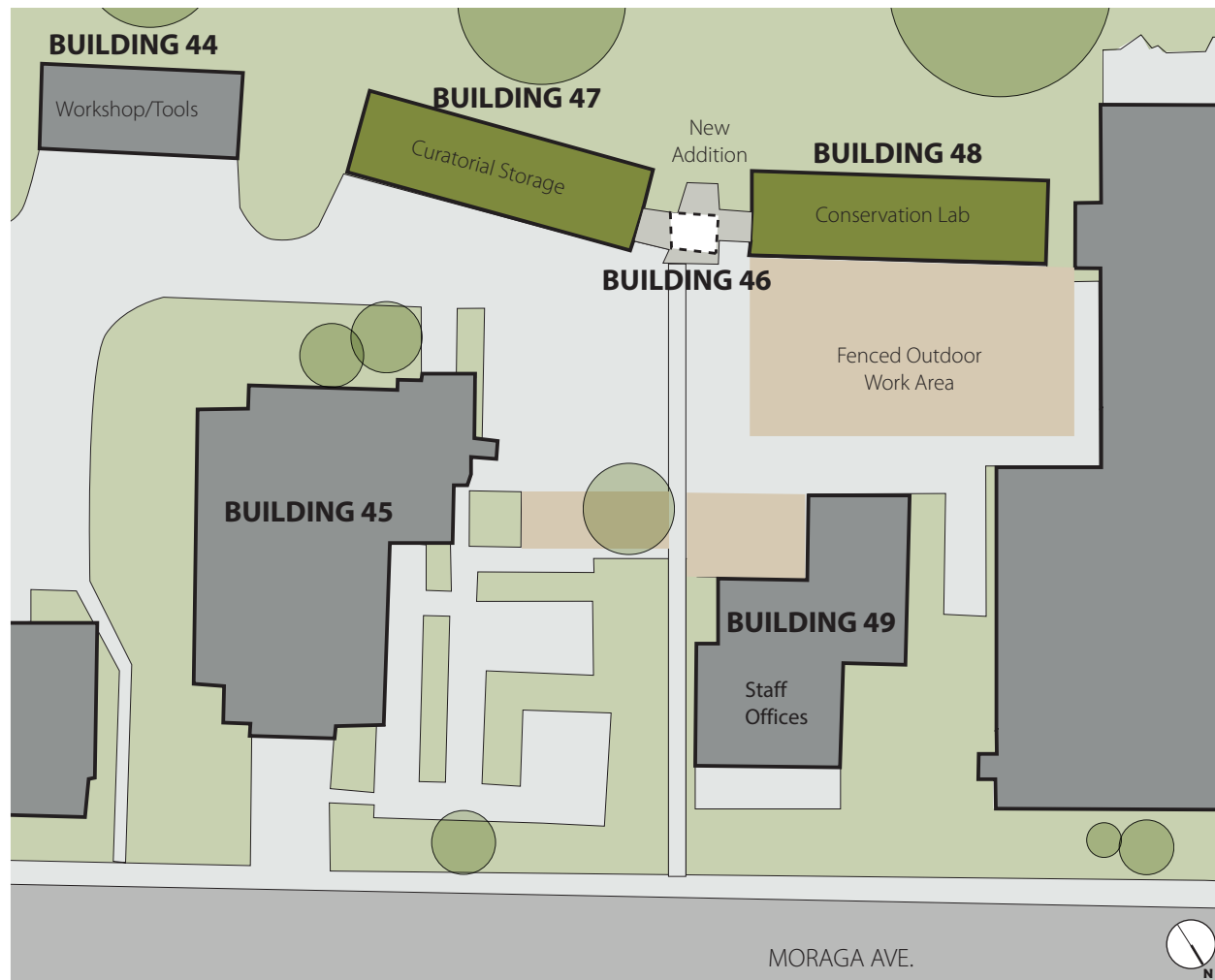




## **Appendix B: Final Finding of Effect**

The Final Finding of Effect for the Main Post Update (FFOE, July 2009) can be found on the Trust website at:  
[http://library.presidio.gov/archive/documents/MP\\_FFOE\\_Jul2009.pdf](http://library.presidio.gov/archive/documents/MP_FFOE_Jul2009.pdf)

## APPENDIX C: CONCEPTUAL SITE PLANS FOR THE ARCHAEOLOGY LAB AND CURATION FACILITIES

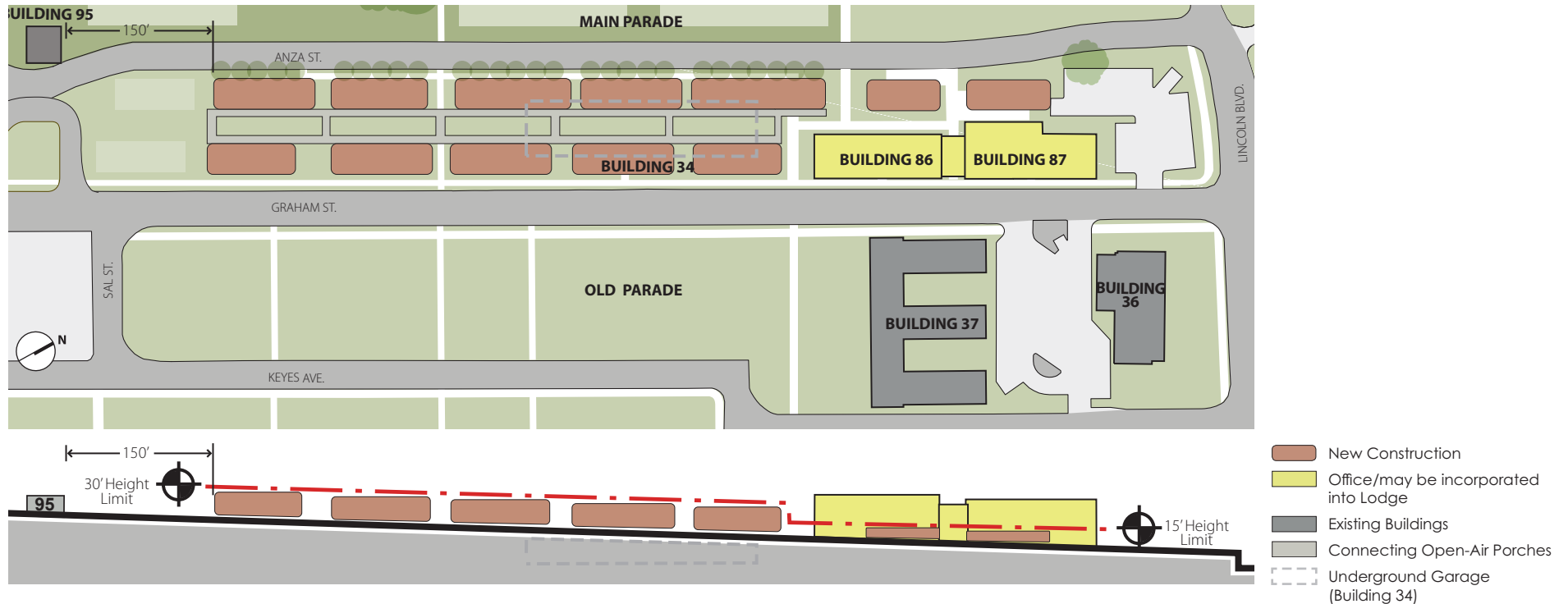


### PROJECT PARAMETERS

- Rehabilitate NHL-contributing Buildings 47 and 48.
- Demolish NHL-contributing Building 46; provide HABS recordation for Building 46.
- Limit new construction to 500 square feet to connect Buildings 47 and 48; addition not to exceed the height of the roof ridge of Buildings 47 and 48.

- Archaeology Lab and Curation Facilities
- Outdoor Education and Work Area
- Connecting Structure
- Building Removed (Building 46)

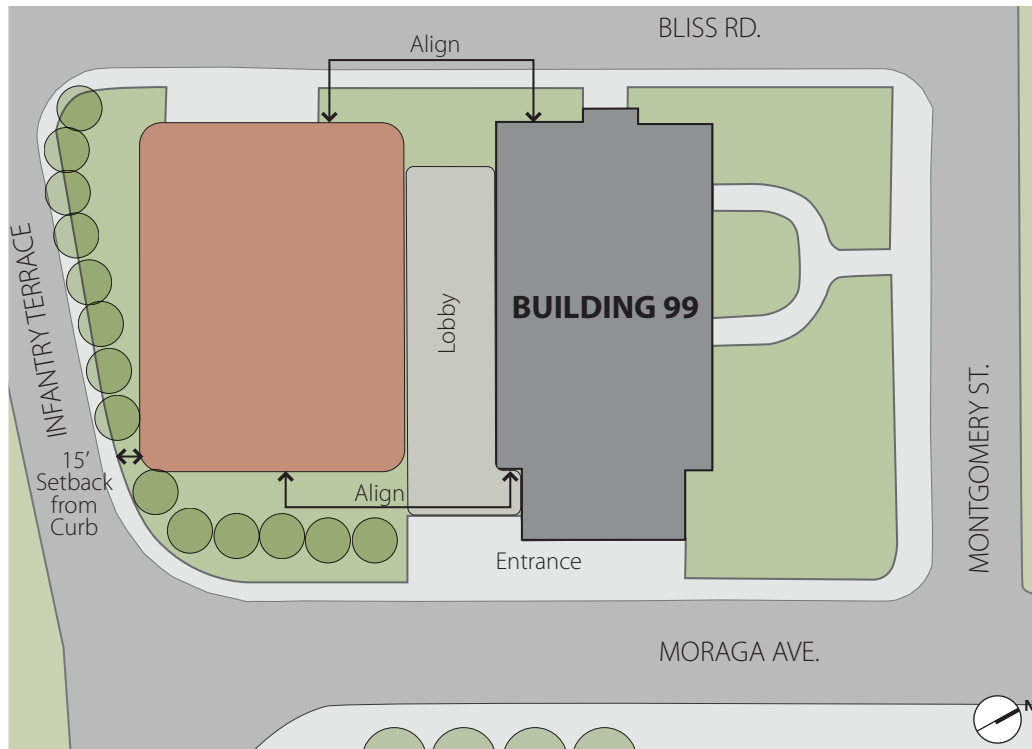
## APPENDIX D: CONCEPTUAL SITE PLANS FOR THE PRESIDIO LODGE



### PROJECT PARAMETERS

- Demolish non-NHL contributing Building 34.
- Limit new construction to 70,000 square feet.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction, guided by PA-MPU.
- Design the lodge to respond to Main Parade Ground rehabilitation design.
- Limit height of new construction to 30 feet above existing grade.
- Base the building footprint on the pattern of the historic barracks that once occupied the site between Graham Street and Anza Street.
- Set back the southern edge of new construction at least 150' from Building 95 to avoid El Presidio archaeology.
- Identification of buried archaeological features will be completed prior to final design to inform efforts to avoid or minimize adverse effects.
- An underground parking garage may also be constructed utilizing the basement of Building 34 to serve the Presidio Lodge (up to 50 spaces).
- Buildings 86 and 87 may be rehabilitated and incorporated into the Lodge.

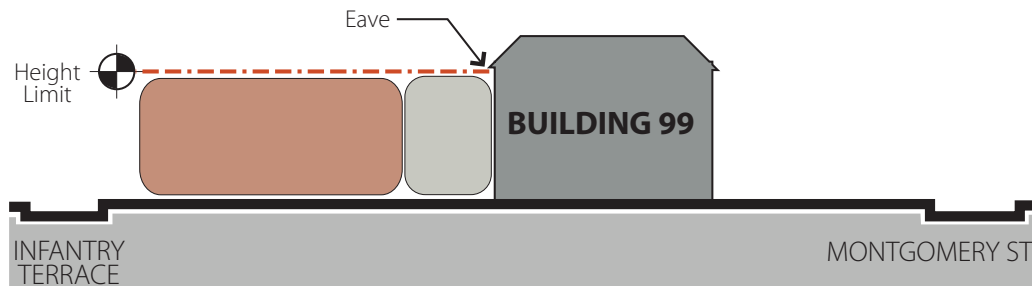
## APPENDIX E: CONCEPTUAL SITE PLANS FOR THE PRESIDIO THEATRE



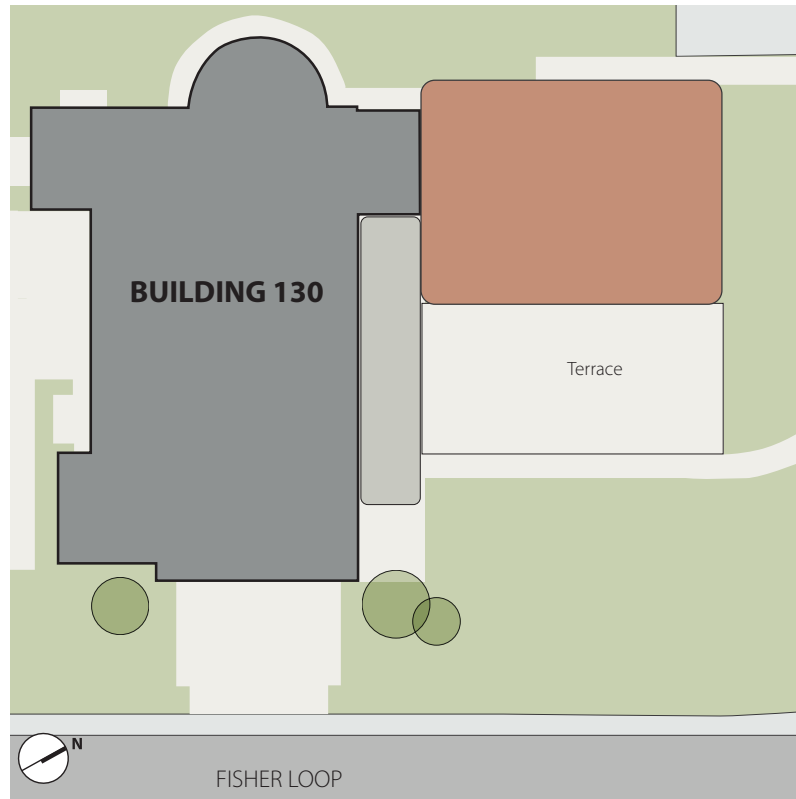
### PROJECT PARAMETERS

- Prepare an HSR for Building 99.
- Rehabilitate NHL-contributing Building 99, retaining its single auditorium and historic orientation to Moraga Avenue.
- Limit new construction to 18,000 square feet; limit height to the eave of the existing theater.
- Pull new construction away from the historic building with a transparent connector.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction guided by the PA-MPU.

- New Construction
- Existing Historic Theater
- Connecting Structure



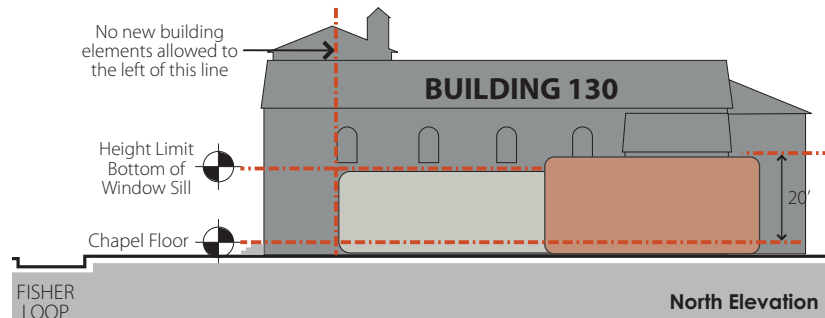
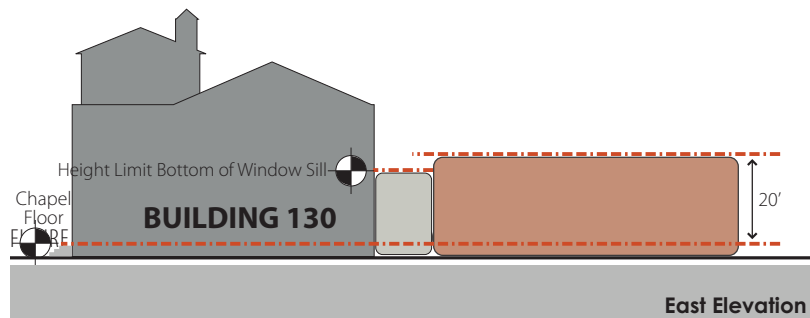
## APPENDIX F: CONCEPTUAL SITE PLANS FOR THE PRESIDIO CHAPEL



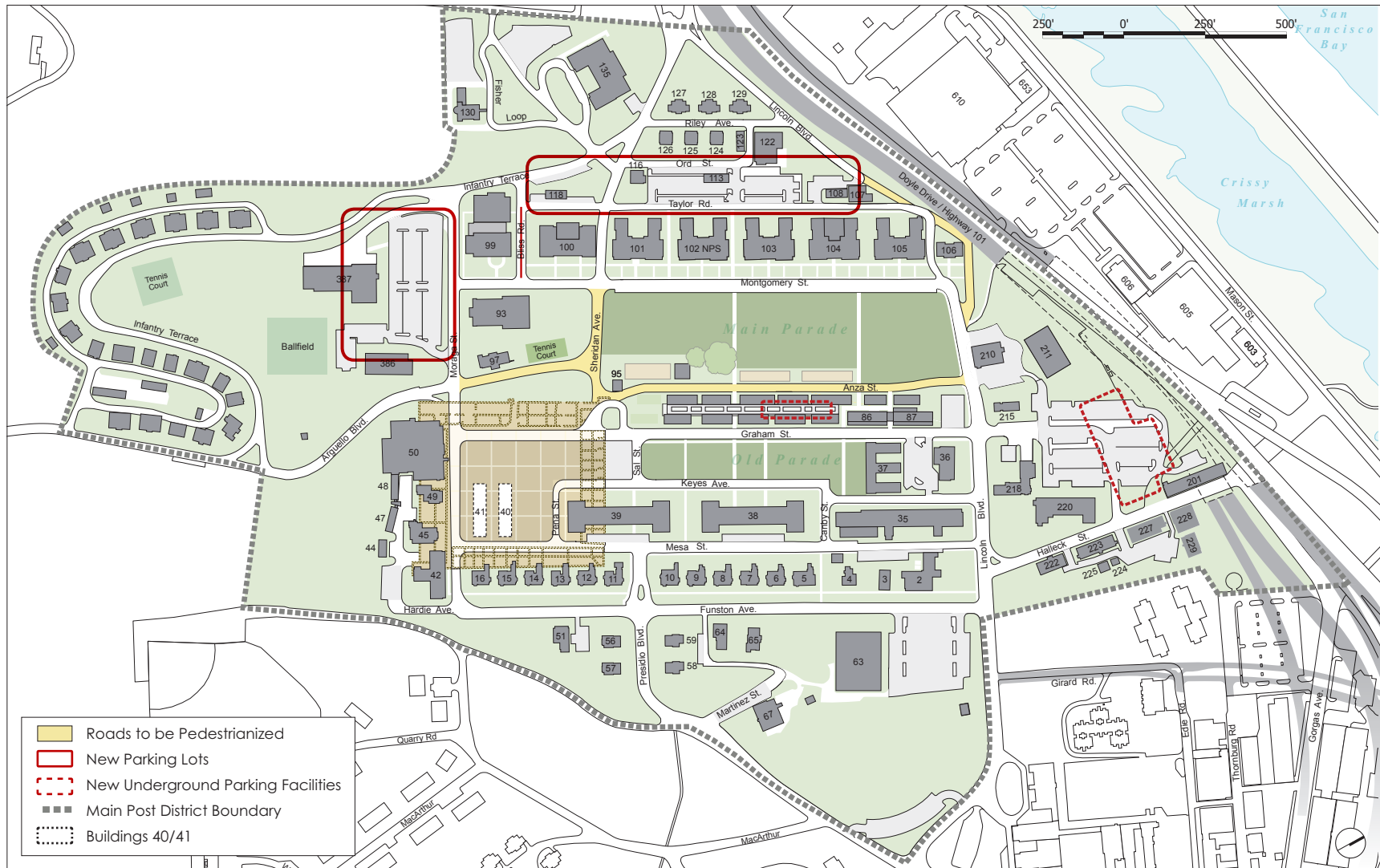
### PROJECT PARAMETERS

- Prepare an HSR for Building 130.
- Rehabilitate NHL-contributing Building 130.
- Limit new construction to 4,000 square feet on the west of building 130; limit the height of the connecting structure to the sills of the west elevation windows and the height of new construction to 20 feet above finished floor level.
- Orient the addition to be perpendicular to the west wall of the sanctuary, allowing a large portion of the west wall to be visible.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction guided by PA-MPU.

- New Construction
- Existing Historic Chapel
- Connecting Structure



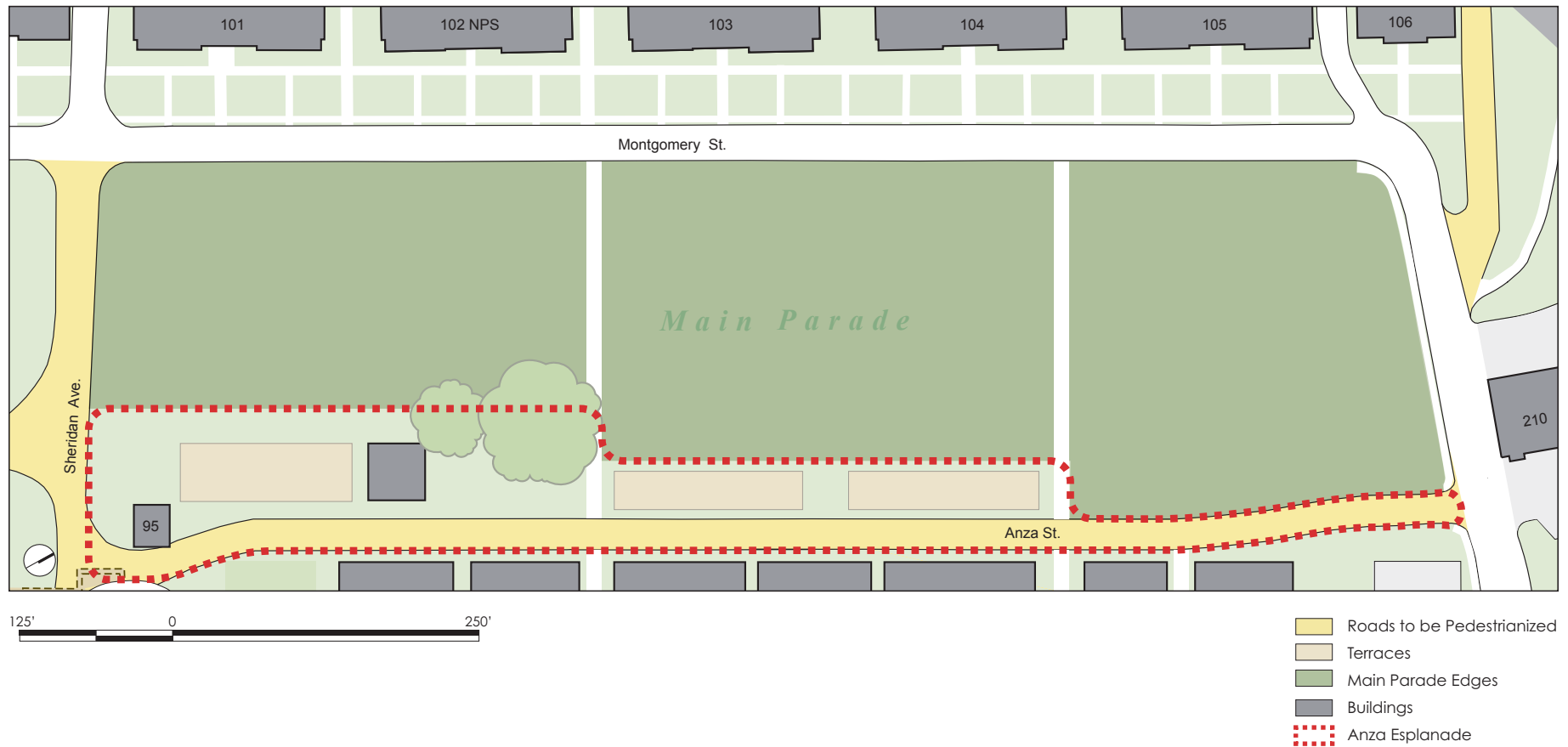
# APPENDIX G: CONCEPTUAL SITE PLANS FOR PEDESTRIAN ACCESS AND PARKING IMPROVEMENTS



## PROJECT PARAMETERS

- Traffic signals will not be installed in the Main Post.
- Portions of the NHL-contributing Arguello Boulevard and Sheridan Avenue will be converted to pedestrian use.
- Current widths and alignments of NHL-contributing roads will be retained; roads will be resurfaced with a historically compatible paving material.
- Identification of buried archaeological features will be completed prior to final design to inform efforts to avoid or minimize adverse effects.
- Taylor Street parking lot will retain historic garages, Buildings 113 and 118; Moraga Avenue parking lot will retain Building 386.

## APPENDIX H: CONCEPTUAL DESIGN FOR MAIN PARADE REHABILITATION



## **Appendix I: Presidio Trust Programmatic Agreement**

The Presidio Trust Programmatic Agreement (PTPA) can be found on the Trust website at:  
<http://library.presidio.gov/archive/documents/ProgrammaticAgreement.pdf>



## **Appendix J: Glossary of Terms**

### **Programmatic Agreement for the Main Post Update**

**Area of Potential Effects (APE):** The geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The area of potential effects is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking.

**Avoidance:** One of the three methods for resolving an adverse effect (along with minimization and mitigation) according to 36 CFR Part 800 – Protection of Historic Properties. Avoidance indicates that an action that would have caused an adverse effect will no longer occur (i.e. a building that was slated for demolition will be retained).

**Adverse effect:** Direct or indirect harm to historic properties listed on or eligible for inclusion in the National Register of Historic Places.

**Compatibility:** Consistent, congruous; capable of existing together in harmony. Used in the same context here as in the Secretary of the Interior's Standards for Rehabilitation.

**Conceptual plan:** Initial designs that initiate the design development process, and include general concepts rather than detailed renderings.

**Concurring Party:** Consulting parties are invited by the agency official to concur with and sign the programmatic agreement. Concurring parties have been granted specific roles and responsibilities that are more limited than those of the signatory parties. Refusal of any party invited to concur does not invalidate the agreement document.

**Connector:** Enclosed or open spaces that function to connect buildings.

**Construction document (CDs):** Drawings, plans and specifications that are created for use by an architect and contractors for pricing and planning construction of a designed building or structure. This level of documentation follows Design Development.

**Consultation:** The process of seeking, discussing, and considering the views of other participants, and, where feasible, seeking agreement with them regarding matters arising in the section 106 process.

**Cultural Landscape Report (CLR):** A comprehensive document that includes documentation, analysis, and evaluation of historical, architectural, archaeological, ethnographic, horticultural, landscape architectural, engineering and ecological data as appropriate. Documentation is assessed to evaluate the history, significance, and integrity of the landscape including treatment recommendations appropriate for the landscape's significance, condition and planned use, as well as documentation of implemented treatments.

**Design Development (DD):** The process that follows final schematic design, and lays out mechanical electrical, plumbing, structural and architectural details. Often this phase specifies design elements such as material types and location of windows and doors.

**Design Guidelines:** Policies that describe parameters, limits and directives to inform rehabilitation or new construction in order to avoid or minimize impacts to existing historic structures, features and landscapes.

**Gross building area:** Total floor area of a building, measured from its outside walls.

**Footprint:** The ground level square footage of a building.

**Historic Structure Reports (HSR):** A comprehensive document that provides documentary, graphic, and physical information about a property's history and existing condition to inform preservation planning and make treatment recommendations. The document can also be organized to meet site or project specific goals, such as research objectives or programmatic needs.

**Infill construction:** New construction that is located within an existing or formerly developed area, such as a building complex or row of buildings.

**Minimization:** One of the three methods for resolving an adverse effect (along with avoidance and mitigation) according to 36 CFR Part 800 – Protection of Historic Properties. Minimization indicates a method or measure designed to lessen the intensity of an impact on a particular resource (i.e. impacts related to new construction are made smaller by reducing or reallocating the total square footage of new construction).

**Mitigation:** One of the three methods for resolving an adverse effect (along with avoidance and minimization) according to 36 CFR Part 800 – Protection of Historic Properties. Mitigation indicates that a separate action is undertaken to compensate for, or otherwise address, an adverse effect (i.e. an agency develops a program to interpret an impacted resource).

**Height:** Measurement taken from the grade level to the highest point of a building. Does not include accessories or wiring that function to service a building.

**Historic Property:** Any prehistoric or historic district, site, building, structure, or object included in, or eligible for inclusion in, the National Register of Historic Places maintained by the Secretary of the Interior. This term includes artifacts, records, and remains that are related to and located within such properties. The term includes properties of traditional religious and cultural importance to an Indian tribe or Native Hawaiian organization and that meet the National Register criteria.

**Invited Signatory:** An agency or organization that is invited by the agency official to be a signatory to a programmatic agreement, and has the same rights as required signatories.

**Public:** Any interested individual or group that has not signed the agreement document as either a signatory or concurring party.

**New Construction:** Additional net square footage of built space, excluding landscape improvements and other open space amenities.

**National Historic Landmark (NHL):** A nationally significant historic place designated by the Secretary of the Interior because it possesses exceptional value or quality in illustrating or interpreting the heritage of the United States. The Presidio was designated an NHL in 1962.

**National Historic Preservation Act (NHPA):** Federal legislation passed in 1966 that is intended to preserve historical and archaeological sites in the United States. The act created the National Register of Historic Places, the list of National Historic Landmarks, and the State Historic Preservation Offices. Among other things, the act requires Federal agencies to evaluate the impact of all federally funded or permitted projects on historic properties (buildings, archaeological sites, etc.) through a process known as Section 106 review.

**Plan (or Plan View):** A drawing made to scale to represent the top view or a horizontal section of a structure, (i.e. a floor layout of a building).

**Programmatic Agreement:** A document that records the terms and conditions agreed upon to resolve the potential adverse effects of a Federal agency program, undertaking or other situations in accordance with § 800.14(b).

**Public Meeting:** An in-person gathering whereby the agency presents up-to-date information on projects, takes questions, and engages in a dialogue with interested parties

**Rehabilitation:** According to the Secretary of the Interior's Standards, the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

**Resolution:** A stage in the Section 106 process where adverse effects are addressed through avoidance, minimization or mitigation. Resolution typically concludes with a Memorandum of Agreement (MOA) or Programmatic Agreement (PA). This part of the process is described in the NHPA regulations at 36 CFR 800.6.

**Schematic design:** The process that follows a conceptual design. It should include estimated square footage of each usage type and any other elements that achieve the project goals. During schematic design, an architect commonly develops study drawings that include spatial relationships, scale, and form. Schematic design also is the research phase of the project, when zoning requirements or jurisdictional restrictions are discovered and addressed.

**Section 106:** The section of the NHPA that requires federal agencies to consider the effects of their actions on historic properties and seek comments from an independent reviewing agency, the Advisory Council on Historic Preservation. The purpose of Section 106 is guide consultation to identify historic properties potentially affected by an undertaking, assess the effects of that undertaking, and seek ways to avoid, minimize or mitigate any adverse effects on historic properties.

**Section 110:** The section of the NHPA that sets out the broad historic preservation responsibilities of federal agencies to ensure that historic preservation is fully integrated into ongoing programs.

**Signatory:** Signatory parties are required participants in a programmatic agreement. They include the lead agency (in this case, the Trust), the ACHP, NPS and the SHPO. Signatory parties generally have enhanced roles and responsibilities as compared to signatory parties. These typically include the ability to terminate or amend an agreement document.

**Square footage:** The sum of all areas on all floors of a building, measured in feet.

**Undertaking:** A project, activity, or program funded in whole or in part under the direct or indirect jurisdiction of a Federal agency, including those carried out by or on behalf of a Federal agency; those carried out with Federal financial assistance; and those requiring a Federal permit, license or approval.

## **Appendix K: Design Review Steps, Process for PA-MPU Projects**

### **PA-MPU Projects:**

Archaeology Lab & Curatorial Facility	El Presidio: The Birthplace of San Francisco
Presidio Lodge	Pedestrian Access (Historic Road Conversions)
Presidio Theatre	Parking Improvements (Main Post Bluff Parking Facility)
Presidio Chapel	Parking Improvements (Moraga Avenue Parking Lot)
Parking Improvements (Taylor Road Parking Lot)	

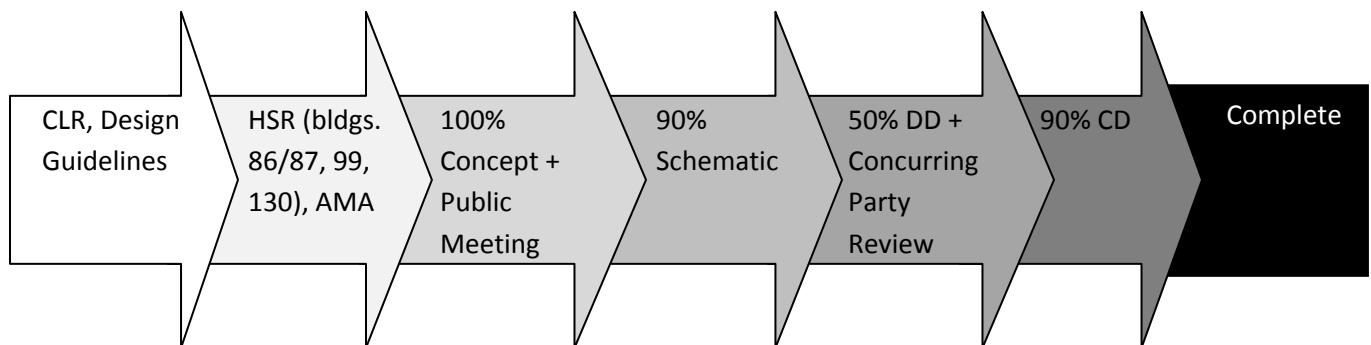
Review timelines for each phase: twenty-one (21) calendar days. Unless otherwise specified, review steps described below involve signatory parties only.

The Trust FPO or designee will be responsible for distributing design submissions and/or information for review. Design submittals and/or information will be made available via the Trust website ([www.presidiotrust.gov](http://www.presidiotrust.gov)), in hard copy in the Trust's Library, or in hard copy mailed upon request. Written comments from all parties on these design submissions received by the Trust within twenty-one (21) calendar days of the submissions will be considered. If a party does not comment within twenty-one (21) days, and does not notify the Trust and request an additional period that shall not exceed ten (10) days, the Trust may proceed. In the event that multiple review periods overlap, the Trust will consult with signatory parties to prioritize and determine alternative review timelines.

### **Group A:**

Project(s): Presidio Lodge, Presidio Theatre, Presidio Chapel, El Presidio: The Birthplace of San Francisco, Parking Improvements (Main Post Bluff Parking Facility)

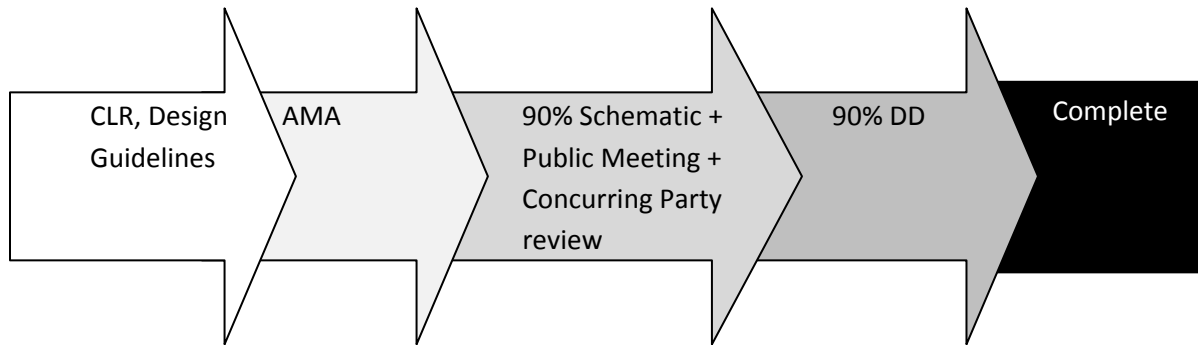
Review Process: Begins with conceptual design described by the project parameters in MPU and Appendix D of the PA-MPU, followed by the below sequence:



### Group B:

Project(s): Parking Improvements (Taylor Road Parking Lot, Moraga Avenue Parking Lot), Pedestrian Access (Historic Road Conversions)

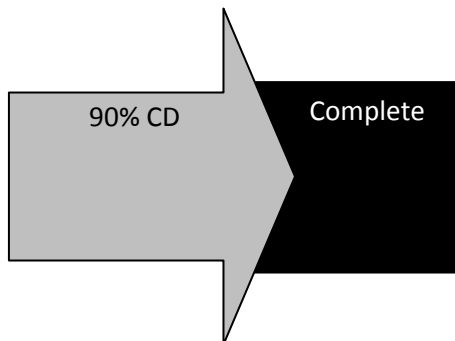
Review Process: Begins with conceptual design described by the project parameters in MPU and Appendix G of the PA-MPU, followed by the below sequence:



### Group C:

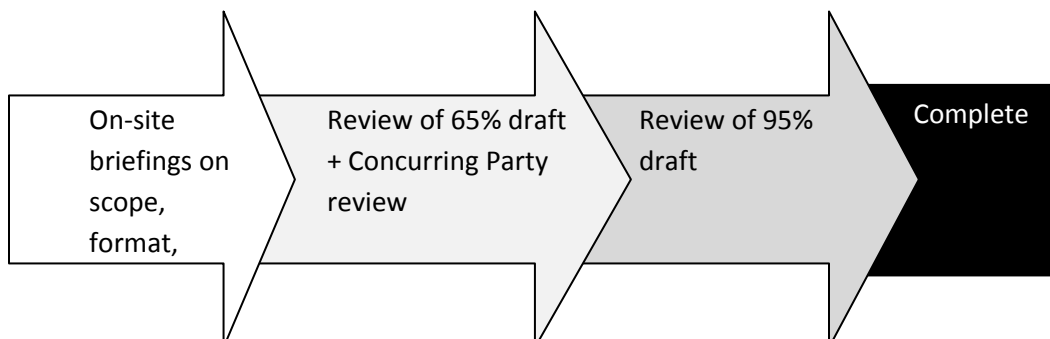
Project(s): Archaeology Lab & Curatorial Facility

Review Process: Conceptual, schematic, DD and 90% CDs are complete, project parameters in MPU, followed by the below sequence:



### Process for Development of CLR, HSR's (for buildings 86/87, 99, 130), Archaeological Treatment Plans, Design Guidelines for the Main Post

Review timelines for each phase: 21 days



**AMENDMENT TO  
THE PROGRAMMATIC AGREEMENT AMONG  
THE PRESIDIO TRUST,  
THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER,  
THE NATIONAL PARK SERVICE, AND  
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
FOR  
THE MAIN POST UPDATE TO THE PRESIDIO TRUST MANAGEMENT PLAN  
PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK,  
SAN FRANCISCO, CALIFORNIA**

**WHEREAS**, the Agreement was executed in December 2010;

**WHEREAS**, in 2015 the Presidio Trust sought to include a provision whereby projects under this agreement document could participate in the Federal Historic Preservation Tax Incentives program;

**NOW, THEREFORE**, in accordance with Stipulation VI.A of the Agreement, the Presidio Trust, National Park Service, California State Historic Preservation Officer and Advisory Council on Historic Preservation agree to amend the Agreement as follows:

**II.C.3. MPU Undertakings and the Federal Historic Preservation Tax Incentives Program.**

A. For an undertaking described under Stipulation II.A.1 that also seeks Federal Historic Preservation Tax Incentives, the Trust shall substitute the following steps for the process described in Appendix K.

This process shall proceed as follows:

- i. The Trust shall prepare a consultation package in order to notify signatory and concurring parties to this agreement in writing that an Applicant has come forward with a proposal to rehabilitate a building identified in Stipulation II.A.1 and to participate in the Federal Historic Preservation Tax Incentives program.
- ii. In addition to the notification the consultation package shall include the following information:
  - a. Confirmation that the appropriate Historic Structure Report (HSR) and Archaeological Management Assessment are adequate and complete in support of the undertaking in accordance with Stipulation II of this PA;
  - b. The Trust will propose in writing to the signatory and concurring parties a revision of the previous finding of adverse effect (Revised Finding of Effect) to a finding of “no adverse effect” with conditions (in accordance with 36 CFR 800.5(b)) for the proposed rehabilitation undertaking seeking Federal Preservation Tax Credit certification. The Trust will cite that the conditions for achieving this finding of “no adverse effect” will be;

- i. Certification of the project through the Federal Historic Preservation Tax Incentive review process, ensuring consistency with the Secretary's Standards for the Treatment of Historic Properties (Standards); and
  - ii. Concurrence from the signatory parties with the Trust's assessment that the undertaking avoids indirect and cumulative adverse effects to the NHL.
- c. Documentation to support the finding as specified in 36 CFR 800.11, including a description of the undertaking and an assessment of indirect and cumulative effects;
- d. A request for signatory, concurring party, and public comment on the proposed Revised Finding of "no adverse effect with conditions" for the proposed rehabilitation undertaking, along with the Trust's assessment of indirect and cumulative effects within 30 days of receiving the consultation package;
- e. A request for formal concurrence from the Signatory Parties that the undertaking will not cause indirect or cumulative adverse effects; and
- f. A date for a Public Information Session on the undertaking proposal. The date of the Public Information Session shall be no fewer than 30 days after the date of the consultation package.
- g. Direct effects will be assessed through the tax credit review process as described in 36 CFR Part 67.
- iii. In coordination with the release of the consultation package, the Trust will announce the Public Information Session via eNews or equivalent, and make the contents of the package available on the Trust's website.
- iv. The Applicant shall submit Parts 1 and 2 of the Tax Credit application in coordination with the release of the consultation package.
- v. The Trust shall hold a Public Information Session to present the proposed rehabilitation undertaking. Information presented at the Public Information Session shall include:
  - a. A description of the proposed rehabilitation undertaking; and
  - b. A summary of the Trust's assessment of the proposed rehabilitation undertaking's indirect and cumulative effects based on the proposal.
- vi. Comments received in writing regarding the proposed rehabilitation undertaking during the 30-day comment period and at the Public Information Session will be posted to the Trust's website and considered by the Trust.
- vii. The signatory parties will have 15 days following the Public Information Session to consider all comments, and to concur with the Trust's finding that the proposed

rehabilitation undertaking will not have indirect or cumulative adverse effects. A signatory party may request an extension on this period not to exceed an additional 15 days.

a. If the signatory parties do not concur, the signatory parties will provide reasons for not concurring with the Trust's assessment, and continue to consult until concurrence is reached for how to modify the proposal to avoid adverse indirect or cumulative effects. Consultation shall not exceed 30 days.

b. If concurrence is not reached on the finding, consultation should proceed according to the terms of Stipulation V (Dispute Resolution).

viii. If the proposed rehabilitation undertaking receives approval of the Part 2 application through the Federal Preservation Tax review, the Trust will notify the signatory parties that the proposal meets the Standards and will not have direct adverse effects on the property.

ix. Once approval of the Part 2 application has been received, and concurrence on indirect and cumulative effects has been reached under part viii above, Section 106 review is complete.

x. In the event that the Part 2 application is not approved through the Federal Historic Preservation Tax Incentive review process, further review of the undertaking will revert to the process described under Appendix K appropriate to the project, or the project may be modified or completely withdrawn.

## B. Monitoring and Modifications

i. The Trust shall monitor the proposed rehabilitation undertaking during the construction phase for compliance with the Finding of No Adverse Effect.

ii. If the Applicant proposes an Amendment to the approved Tax Credit Project Scope of Work, the Trust and Applicant shall proceed as follows:

a. The Applicant will submit an Amendment for review under the Tax Credit Review Process for compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties in order to avoid direct adverse effects.

b. Trust will assess if the Amendment constitutes a change to the finding of no adverse indirect or cumulative effect.

1. If the Trust determines that the Amendment will not constitute an adverse indirect or cumulative effect, it will notify signatory parties of this finding via electronic mail.

i. If the signatory parties do not concur, the signatory parties will provide reasons for not concurring with the Trust's assessment via electronic mail within five business days.



ii. Signatory parties will continue to consult until concurrence is reached for how to modify the proposal to avoid adverse indirect or cumulative effects. Consultation shall not exceed 30 days.

iii. If concurrence is not reached on the finding, consultation should proceed according to the terms of Stipulation V (Dispute Resolution).

2. If the Trust determines that the Amendment constitutes an indirect or cumulative adverse effect, the Trust will notify signatory parties of this finding via electronic mail, and will work with the Applicant to modify the proposal to avoid the adverse indirect or cumulative effect.

3. If the Applicant cannot or will not modify the Amendment to avoid the adverse indirect or cumulative effect, the Trust will notify signatory parties of the adverse effect finding and request consultation on ways the project could be changed to avoid the adverse effect. Consultation on the resolution measures shall not exceed 30 days.

c. If the amendment is not approved through the Tax Credit Review and won't be modified to meet approval, or if the consultation to resolve indirect or cumulative effects is unsuccessful, and the Trust intends to proceed with the undertaking, consultation to resolve the adverse effect should proceed according to 36CFR 800.6.

iii. The Trust shall document the work, along with the rest of the undertaking, in its annual Section 106 report in accordance with Stipulation IV.A of this PA.

**Process for Reviewing PA-MPU Projects in Coordination with the Federal Historic Preservation Tax Incentives Program:**

CLR, Design Guidelines	HSR, AMA	Revised FOE + announcement of the Public Information Session (30-day comment period: public, concurring, signatory comment)	Public Information Session (public, concurring, signatory participation)	Part 2 certified, concurrence on cumulative and indirect effects reached (30 days or more)	Amendments (as necessary)
------------------------------	-------------	--	---	---	------------------------------

**EXECUTION** of this Amendment by the Trust, NPS, and SHPO and implementation of its terms evidence that the Trust has taken into account the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

**SIGNATORY:**

**Presidio Trust**

 Date  
Michael Boland, Acting Executive Director

**INVITED SIGNATORY:**

**National Park Service**

 Date *Feb. 16, 2016*  
Pacific West Regional Director

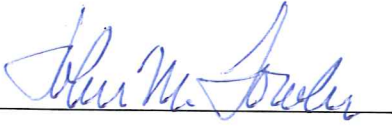
**SIGNATORY:**

**California State Historic Preservation Officer**

 \_\_\_\_\_ Date *23 Feb 2016*  
Julianne Polanco, California SHPO

**SIGNATORY:**

**Advisory Council on Historic Preservation**

 Date 3/3/16

**Mr. John M. Fowler, Executive Director**

# Appendix E

# **PRESIDIO TRUST - 2013 ANNUAL**

## **REPORT LIST OF ACRONYMS**

Advisory Council for Historic Preservation (ACHP)  
Americans with Disabilities Act (ADA)  
American Institute for Conservation of Historic and Artistic Works (AIC)  
Area of Potential Effect (APE)  
Association for Preservation Technology (APT)  
Built Environment and Archaeology Treatment Plans (BETP and ATP)  
California Office of Historic Preservation (OHP)  
Center for Digital Archaeology (CoDA)  
Certificate of Compliance (COC)  
Cultural Landscape Report (CLR)  
Cultural resource inventory report and finding of effect (CRIR-FOE)  
Design development (DD)  
Environmental Assessment (EA)  
Federal Highways Administration (FHWA)  
Federal Preservation Officer (FPO)  
International Center to End Violence (ICEV)  
National Park Service-Technical Preservation Services (NPS-TPS)  
Historic American Building Survey (HABS)  
Historic American Engineering Record (HAER)  
Historic American Landscape Survey (HALS)  
Historic Structure Report (HSR)  
Leadership in Engineering and Environmental Design (LEED)  
Military Intelligence Service (MIS)  
National Environmental Policy Act (NEPA)  
National Japanese American Historical Society (NJAHS)  
National Historic Landmark (NHL)  
National Historic Preservation Act (NHPA)  
National Park Service (NPS)  
National Park Service - Pacific West Regional Office (NPS-PWRO)

National Park Service - Golden Gate National Recreation Area (NPS-GOGA)

National Register of Historic Places (NRHP)

National Trust for Historic Preservation (NTHP)

Neighborhood Associations for Presidio Planning (NAPP)

Presidio Historical Association (PHA)

Presidio Trust (Trust)

Presidio Trust's Programmatic Agreement for the Main Post Update (PA-MPU)

Presidio Trust's Programmatic Agreement (PTPA)

Public-private partnership (P3)

National Historic Landmark District (NHLD)

San Francisco Conservation Corps (SFCC)

San Francisco Architectural Heritage (SFAH)

San Francisco County Transportation Authority (SFCTA)

State Historic Preservation Officer (SHPO)

U.S. Coast Guard (USCG)



# Appendix F

# **ARCHAEOLOGICAL IDENTIFICATION PLAN BUILDING 105 REHABILITATION**

Prepared by

Kari Jones  
Archaeologist  
Presidio Trust

Prepared for

Rob Wallace  
Associate Director of Design  
Presidio Trust

April 2017

# **ARCHAEOLOGICAL IDENTIFICATION PLAN: BUILDING 105 REHABILITATION**

## **I. INTRODUCTION**

Archaeological identification is any investigation that is designed to determine the presence or absence of archaeological deposits within a specified area. The purpose of this Archaeological Identification Plan (AIP) is to ensure that significant resources within the Building 105 Rehabilitation Project are identified to ensure that adverse effects to contributing elements of the Presidio National Historic Landmark District (NHL) are avoided.

As stipulated (Stipulation XII) in the Programmatic Agreement Among The Presidio Trust, National Park Service, The Advisory Council On Historic Preservation, And The California State Historic Preservation Officer Regarding The Presidio Of San Francisco, Golden Gate National Recreation Area (PTPA 2014), Presidio Trust (Trust) staff prepared an Archaeological Management Assessment (AMA) for the Project in October 2016 and an Archaeological Monitoring Plan (AMP) in December 2016.

Human remains were inadvertently discovered during monitoring of project construction in February 2017. The burial is at least partially in situ and is believed to be associated with a historic cemetery, predicted in the NHL (Alley et al. 1993: 7-61). At present, only one set of human remains has been identified. In accordance with the Trust's protocol for the discovery of human remains and the processes outlined in the Native American Graves Protection and Repatriation Act (NAGPRA), Project ground disturbance was halted until NAGPRA consultation was complete and further identification investigations could be undertaken.

A NAGPRA Plan of Action (POA) was completed in March 2017 and is included in this plan as Appendix A. The POA is intended to guide the Trust in the treatment of any additional human remains discovered during this identification effort or Project construction. Archaeological identification will guide the Project in a redesign effort that minimizes ground disturbance within the cemetery to avoid impacting human burials. This AIP is designed to be as minimally invasive as possible to avoid disinterring human remains.

## **II. PROJECT DESCRIPTION**

The rehabilitation of Building 105, a historic barracks building and contributing element of the Presidio NHL, is underway. The project includes hazardous materials abatement; removal of non-historic interior partitions; new mechanical, electrical and plumbing systems; new fire protection systems; seismic reinforcement; restoration of the dual historic stairs; window, porch and masonry repairs; an in-kind roof replacement; new acoustic upgrades; new and restored interior finishes; exterior repairs; ADA improvements, and new landscaping.

Archaeological identification investigations outlined here are focused within areas of proposed ground disturbance for the Project. The Trust and its contractors are redesigning elements of the project that have a high potential to disturb the cemetery and construction plans will be modified accordingly. For the purposes of this AIP, however, all ground-disturbing project elements are referenced to 100% construction drawings dated 10/14/2016, and revised sheet C3.1 addendum 3 dated 12/2/16.

Ground disturbing work that has the potential to disturb archaeology includes:

- 1) Excavation for structural work and building drainage as depicted on Sheet S2.1, SD2.1, and A2.0 including:
  - a. Perimeter footing reinforcement and associated building drainage system
  - b. Structural micropiles
- 2) Trenching for sanitary sewer lines as depicted on Sheet C4.1 and detailed on Sheet C5.3 and storm drain lines as depicted on Sheet C3.1 and detailed on Sheet C5.2
- 3) Mechanical, electrical, and plumbing in the basement is currently being redesigned based on archaeological identification and will be placed above ground where possible and in disturbed or filled areas identified by this effort.

### **III. INADVERTENT DISCOVERY**

On February 13, 2017, Edward DeHaro, the Trust archaeologist responsible for construction monitoring for the Project, observed bone fragments in a trench that the contractor was hand-digging in the basement of Building 105. Samantha Schell, a human osteologist with Pacific Legacy Inc., conducted a site visit the same day and confirmed that the bones are human. In accordance with the Trust protocol for the discovery of human remains, Trust Archaeologist Kari Jones, performed limited archaeological excavation to determine whether the remains were disarticulated or part of an intact burial or larger cemetery.

The bone was in very poor condition and several elements were missing, suggesting that the remains were disturbed or redeposited during construction of Building 105's basement. Ms. Jones exposed a left humerus, ulna, and radius along with a right ulna and radius. The right humerus was not present. A clavicle (side undetermined) was also present. Ms. Jones eventually observed wood fragments in the sides of the burial trench. These wood fragments were interpreted to be coffin remnants, suggesting that the burial is at least partially intact and likely part of the historic cemetery identified in NHL D nomination (Alley et al. 1993). Trenching for the original (1896) construction of the Building 105 foundation appears to have cut through the coffin, removing at least the individual's cervical vertebrae and cranial elements. Pelvis, legs, and feet were not exposed and are expected to remain buried under the basement floor, based on the orientation of the coffin and the skeletal elements present. Ms. Jones halted excavation once it was clear that the burial was in situ. She directed that all ground disturbing construction activity at the Project site stop. All construction work in the basement, whether ground disturbing or not, was halted for the 30-day stop work period required by NAGPRA. The burial was designated Burial 1 and all soil and associated materials excavated from the burial pit were transported to the Trust's secure collections facility.

In addition to the human remains, two buttons were recovered from the burial matrix. One button, recovered near the clavicle, remains unidentified. The second button, recovered near the left wrist, exhibits the "orange peel" backside characteristic of a Prosser button (Sprague 2002). Buttons manufactured with Prosser technology date to sometime after 1840, suggesting this individual was interred either in the late Mexican abandonment period (1835-1846) or during the early American occupation (post-1847).

### **IV. BACKGROUND**

Historical information about a cemetery at the Project site is scant and contradictory. The cemetery was identified as an archaeological area of the NHL D by the National Park Service (NPS) in the 1993 NHL D

update (Alley et al. 1993: 7-61). Therein, and all subsequent NPS and Trust management documents, it was designated as the “Spanish and Mexican Cemetery.” This designation assumes that the cemetery was used by the Spanish sometime after the establishment of the fort in 1776 and until the post’s partial abandonment by the Mexican Republic from 1835-1846. The 1993 nomination does not cite a source for including the cemetery in the NHL, but its location on the archaeological feature map appears to be based on historic maps. Current information about the cemetery comes from three principal sources: historic maps, other historic documents, and Burial 1. Each is discussed individually below. Historical documentary research is ongoing and will continue concurrent with archaeological investigations.

## Historic Maps

Most currently available information about the cemetery comes from its depiction on three American-era historic maps- 1870 Hall, 1870 French, Langrave and Ogalvie (FLO) and 1871 Jacobson. The cemetery does not appear on any known maps of the Presidio before 1870, nor does it appear after 1871.

### 1870 Hall

The cemetery is located at the north of Laundresses’ Row between two laundresses’ quarters on the 1870 Hammond Hall Surgeon General’s Map of the Presidio (see Figure 1). Hall uses a fence outline to demarcate the boundaries of the cemetery and an indecipherable symbol inside the fence. He does not further label the cemetery. The predicted location of the cemetery for purposes of this AIP is based on this 1870 Hall map, as it is the most precisely measured and reliable map that includes the cemetery.

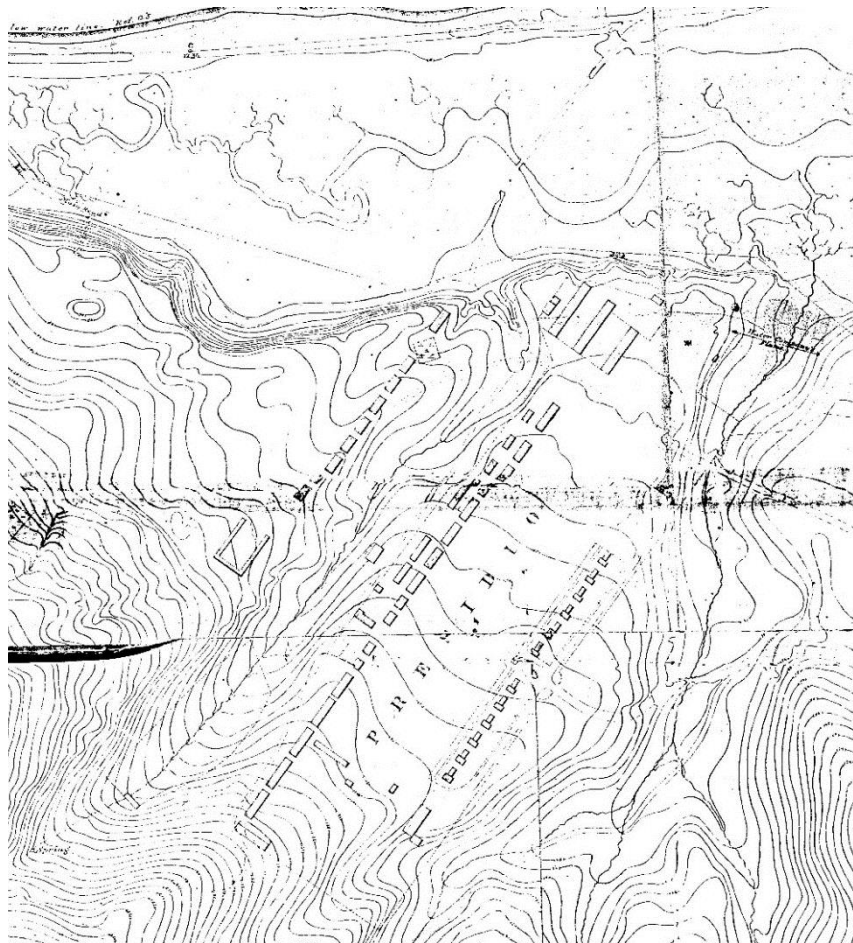


Figure 1 1870 Hammond Hall Map; Main Post detail

## 1870 French, Langran and Ogilvie

On the 1870 French, Langran, and Ogilvie lithograph of the Main Post (FLO), the cemetery appears as a fenced area, expanded slightly relative to the other two historic maps (see Figure 2); a small area to the southwest has been added to the shape that is represented on the 1870 Hall and 1871 Jacobson. The 1870 FLO map uses tombstone symbols and a large central cross to indicate a cemetery, but does not further label the feature. Similar to its location on 1870 Hall and 1871 Jacobson, the cemetery is situated between two of the northernmost laundresses' quarters. The current predicted location of the cemetery is not based on the FLO map, because it appears to be a simply sketched plan without a high level of precision. However, the small fenced area to the southwest has been added to the current predicted site boundary for the purposes of this AIP. This is intended to capture the potential full extent of the cemetery.

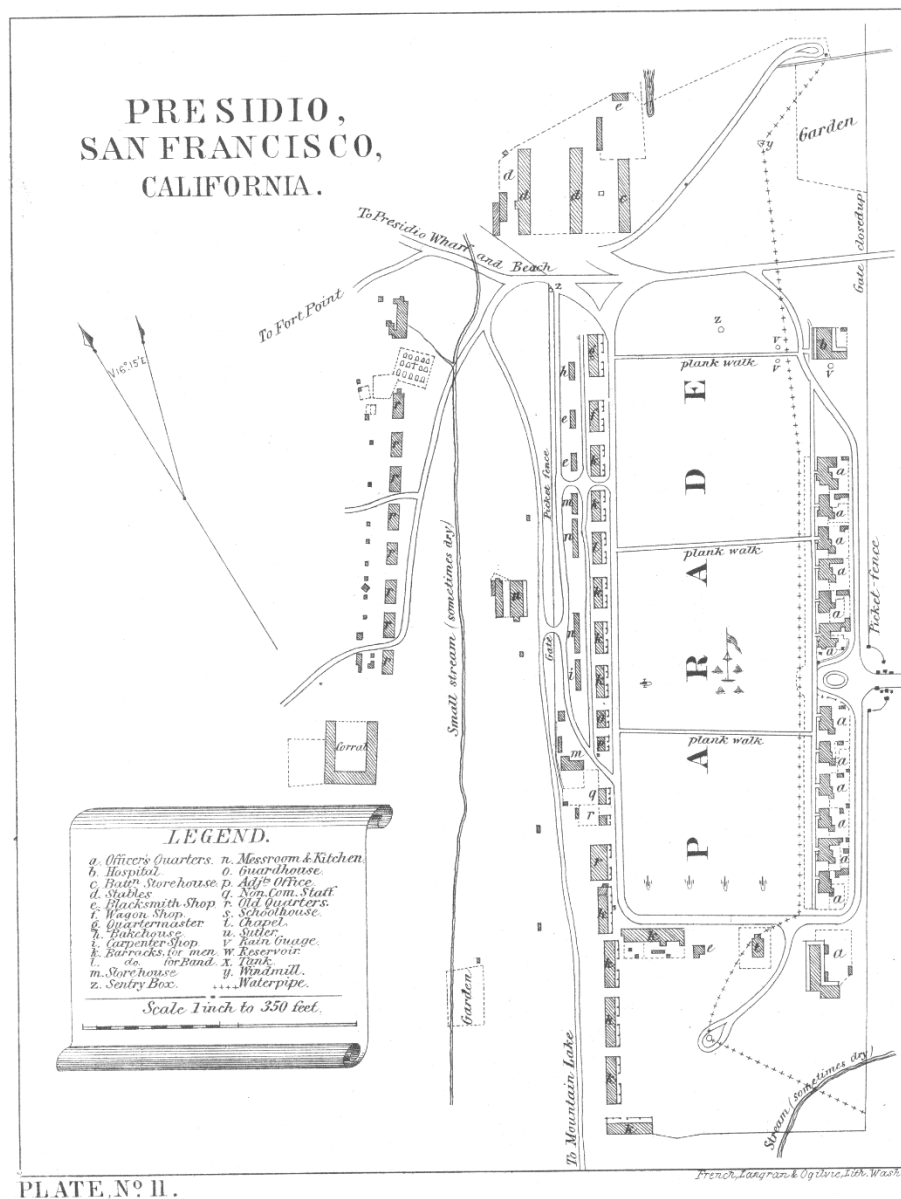


Figure 2 1870 French, Langran and Ogilvie Plan



## 1871 Jacobson

The cemetery is also depicted on the 1871 Jacobson Plan of the Presidio of San Francisco (see Figure 3). This map appears to be a sketched detail of the Main Post based on the measured 1870 Hall plan of the full reservation. The 1871 Jacobson plan does not provide new information about the cemetery, which is demarcated with a fence and symbolized with tombstones and cross. It is located between the two northernmost laundresses' quarters, as in the 1870 Hall and 1870 FLO maps.

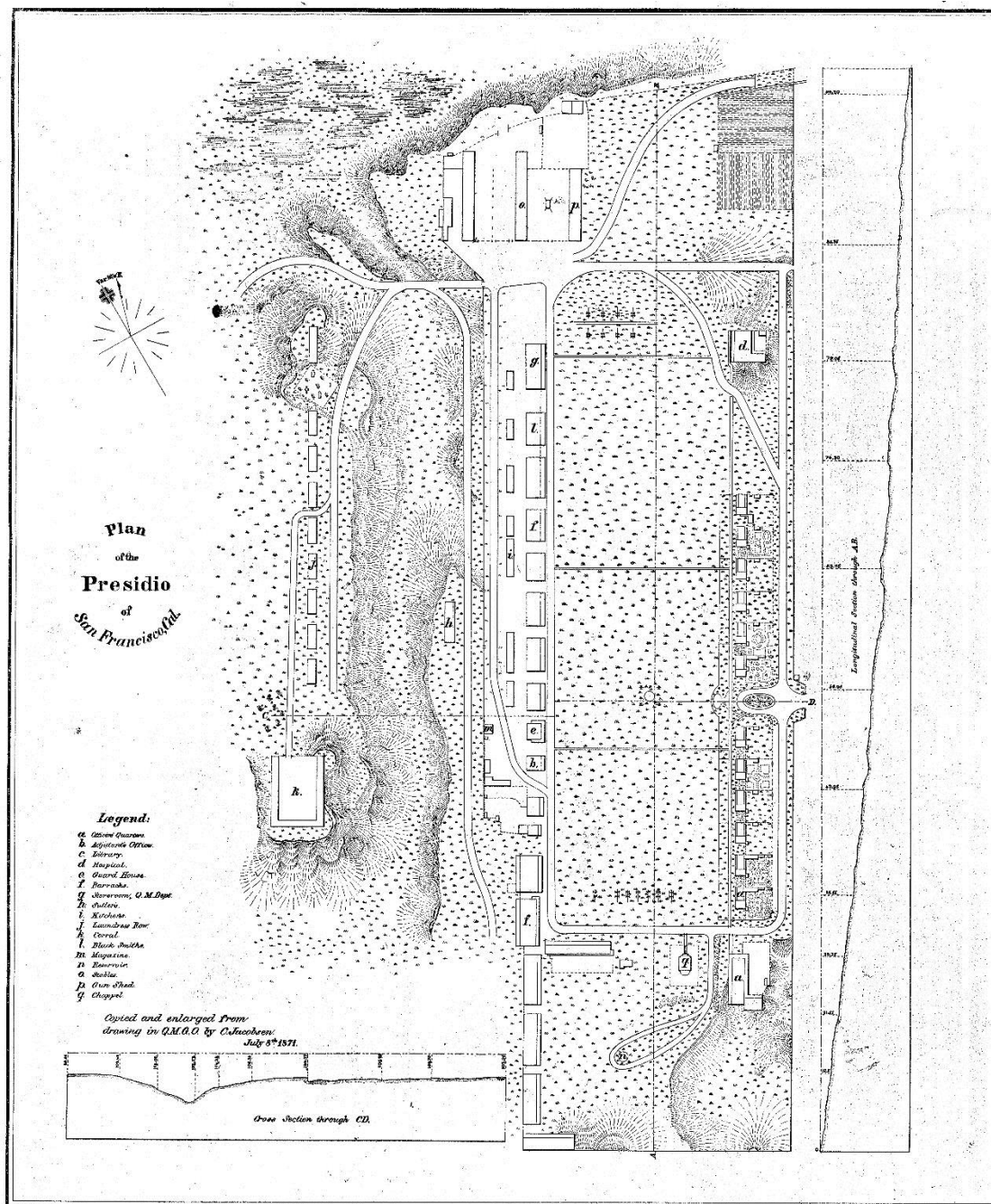
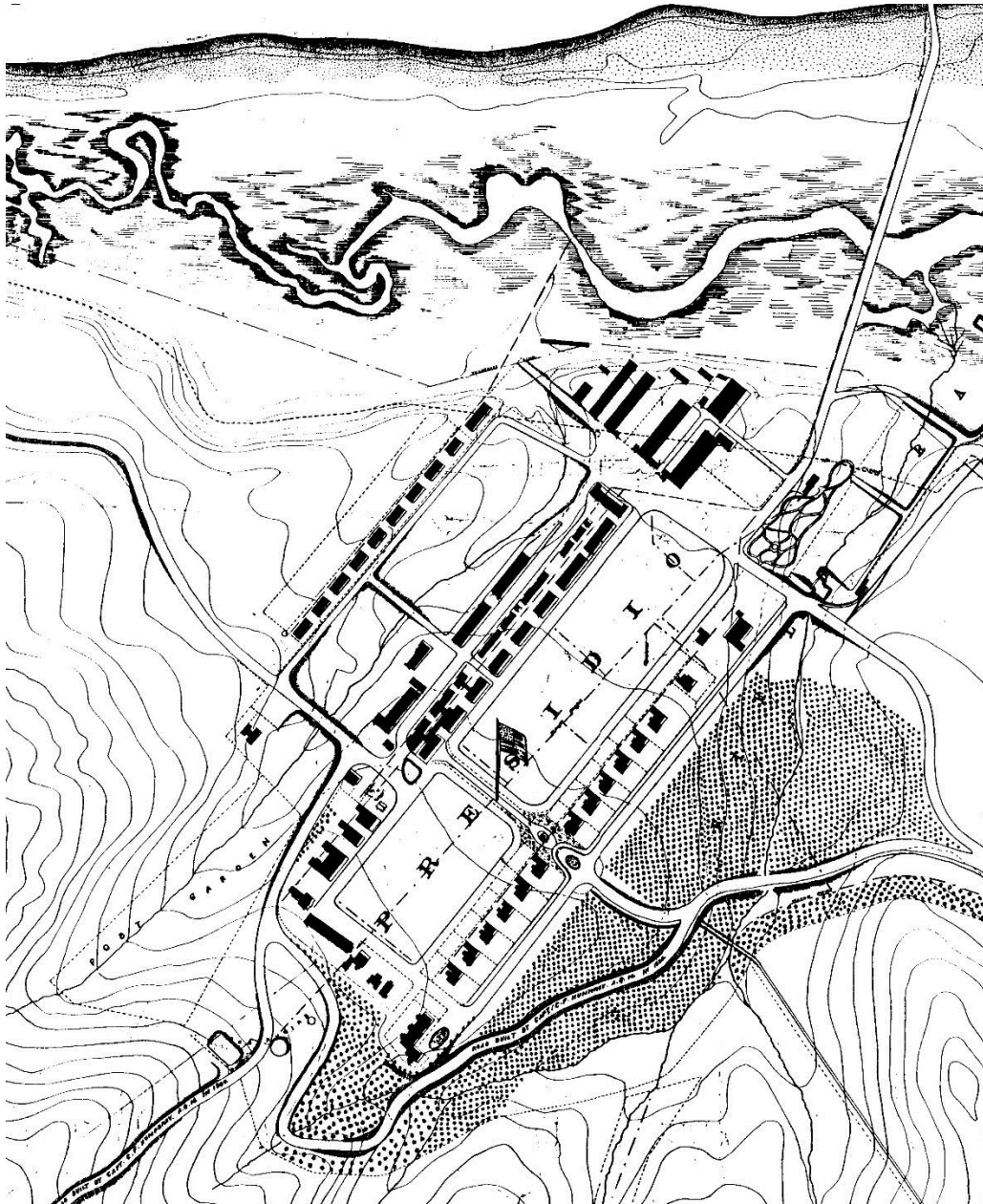


Figure 3 1871 Jacobson Main Post Plan

### Post-1871 Maps

The 1871 Jacobson map is, chronologically, the last available map on which a cemetery appears on the Project site. This cemetery is not included in the 1880 Humphrey (see Figure 4) or the 1880 Jones (see Figure 5). In both of these maps, another laundresses' building has been constructed over the site of the cemetery. The cemetery's absence from these plans and the official establishment of the National Cemetery in 1884 may have led to the historical assumption that the historic laundresses' row cemetery was abandoned, and the burials there disinterred and moved to the National Cemetery. Some historic documents support the conclusion that some or all of the burials were removed, while others suggest they were not. Historic documentary evidence is discussed below.



*Figure 4 1880 Humphrey Plan; Main Post detail*



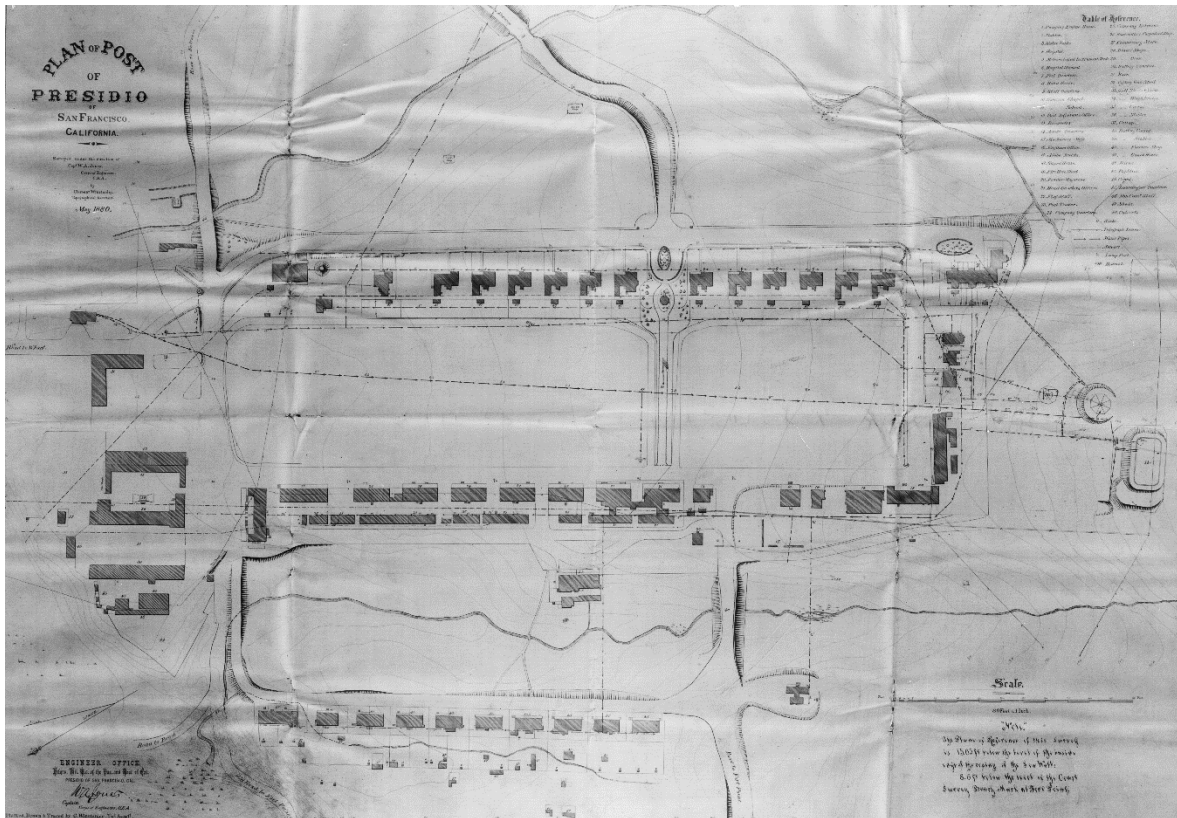


Figure 5 1880 Jones Plan of Post Presidio

## Historical Documents

Historical documentary evidence of a cemetery on the Main Post is currently limited to the Mission Dolores death register and a few American-era documents. The death register at Mission Dolores records eleven people with a burial place of the Presidio of San Francisco. The last record of a Presidio interment in the Mission register is in 1801. Where it indicates a specific burial place, the register notes either *yglesia*, which is assumed to mean in and around the Presidio chapel or *capilla* (the chapel). The historical location of the chapel at *El Presidio* is adjacent to (east of) the Presidio Officers' Club (Building 50).

The first known US Army-era mention of the cemetery comes from a letter written by Lieutenant G. Ramsay in 1866, who is commenting on the feasibility of removing graves at an established cemetery to the "new cemetery" (Thomson nd). The "new cemetery" that Ramsay refers to is likely what is now the San Francisco National Cemetery. The cemetery between the laundresses' quarters, which appears on the 1870s maps, is within the Project site. Ramsay writes:

*"I have found it impossible to identify the graves in the cemetery on this post. But very few headboards have been erected and the post has changed garrisons so often, that the records of interment (if there have been any) have been mislaid or destroyed ... There are two cemeteries at the post, one of which is only now used. It is in good condition. The other cemetery is situated almost between the Laundresses quarters and is also in good condition. I would deem it inadvisable to move the bodies from it to the new cemetery, from the amount of labor it would involve."*

The historic documentary record is mute on whether the historic cemetery was moved following Ramsay's letter. That a cemetery in this location exists on the three 1870s maps suggests the move was not immediate. The next historic documentary mention of the cemetery comes in 1933 via O. Degen, Civil Engineer, Quartermaster Department, Fort Mason, CA:

*"By General Order No. 133 issued on December 12, 1884... 9.5 acres were set aside for the San Francisco National Cemetery... The old Post cemetery contained at that time 231 interments. Of these, 13 were unknown. It has been somewhat of a mystery what has become of the old Spanish and Mexican graves, primarily due to the small garrison maintained here. All of them are accounted for or unknown; no record or name commemorates their history here."*

In 1940 a WPA writers program history of "The Army at the Golden Gate" states:

*The site of the old Burial ground is indicted by a redwood marker in front of Barracks #14. The area immediately west of the marker was used as a cemetery for Indian, Spanish and Mexican soldiers from 1776 to 1846. The remains have been removed and are now interred in the National Cemetery in a tomb marked 'The Unknown soldier.'"*

Finally, a 1955 quartermaster letter states that the remains of 230 individuals of Spanish and Mexican descent had been moved historically from other parts of the post to the National Cemetery (Thomson 1997: 399-400).

## **Burial**

The discovery of Burial 1, which is at least partially intact below the basement floor of Building 105, provides several pieces of contextual information. First, it indicates that even if an effort to disinter and move burials to the National Cemetery was undertaken in the late 19<sup>th</sup> Century, the effort was not completed. There may be more in situ burials within the Project site. Additionally, the location of the burial allows refinement of the prediction of both the horizontal and vertical extents of the cemetery. The boundary used for this AIP is based on the 1870 Hall map and encompasses Burial 1 (see Figure 6). One of the most critical pieces of data from the burial is its elevation. When compared with modern and historic ground surfaces, the burial elevation offers a starting point for a topographic model that predicts the vertical locations of other burials that could remain buried on the Project site. This topographic model is discussed in Section V.

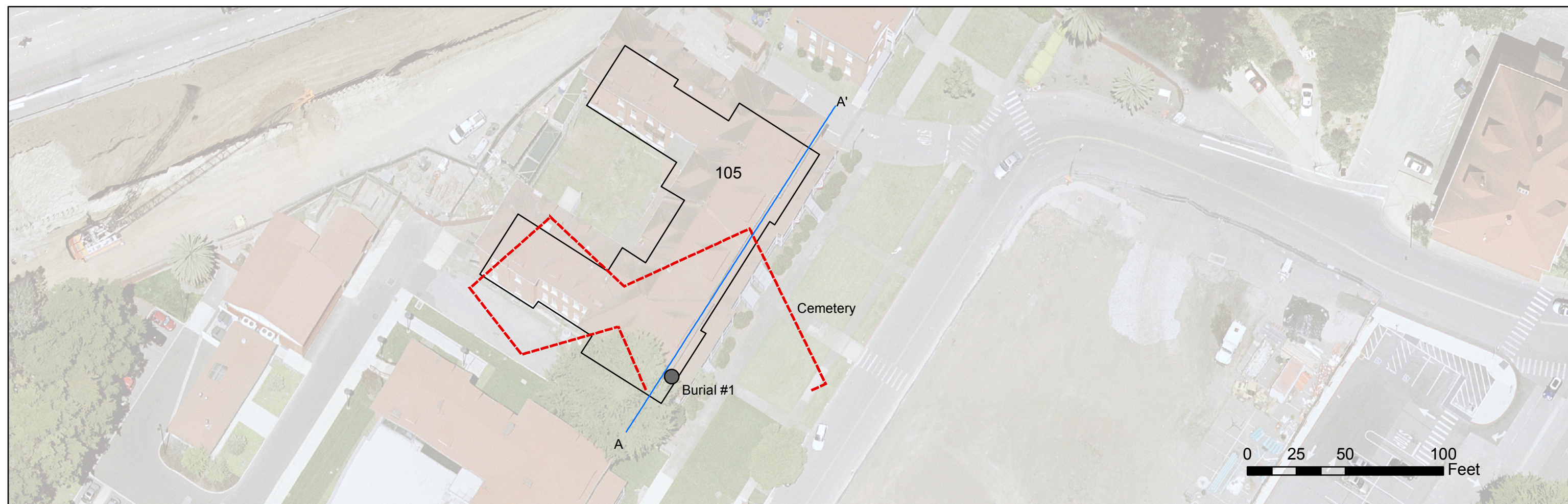
## **V. TOPOGRAPHIC MODEL**

Burial 1 was encountered at 42.6 feet above North American Vertical Datum 1988 (NAVD88), which is less than one foot (8-9 inches) below the finish floor elevation of the Building 105 basement (43.39 NAVD88). This elevation was compared with the historic ground surface, as mapped on the 1880 Jones plan. The 1880 Jones plan records historic ground surface with 6-foot contours; the 48 foot contour crosses directly over the mapped location of Burial 1. Thus, the 1880 ground surface (48 feet NAVD88) was approximately 5.5 feet above Burial 1 (42.6 NAVD88).

This information provided a starting point a topographic model that compares three surfaces:

- Modern ground surface from the 2001 LIDAR survey of the Presidio;
- Historic ground surface from the 1880 Jones Plan, and;
- A predicted elevation of burials, 5.5 feet below the 1880 Jones surface.





Building 105 - Cross Section A

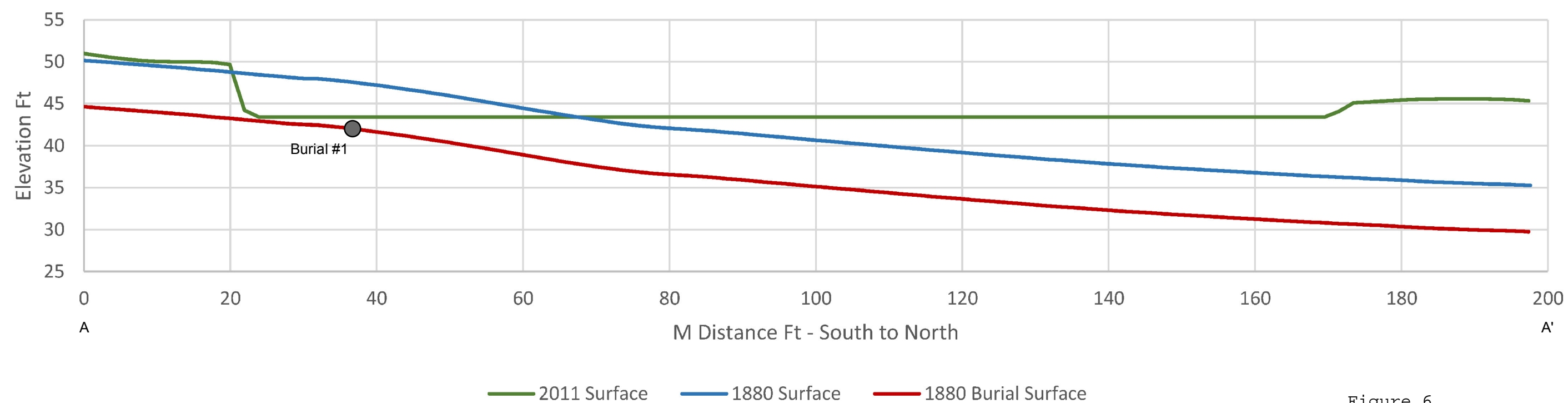


Figure 6

The topographic model, included here in cross-section as Figure 6, predicts patterns of topographic change within the Project site. In the immediate area of Burial 1, the 1896 construction of Building 105's basement cut into historic ground surface, but remained slightly above the elevation of the human remains in the burial. The Building 105 foundation required deeper excavation (not modeled), accounting for the removal of Burial 1's cranium and cervical vertebrae.

Moving northward, however, there is an increasing volume of fill over both historic ground surface and the predicted elevation of burials. This is consistent with historic information about the construction of the Montgomery Street Barracks. The buildings were terraced to create flat pads for construction. This required cutting into uphill surfaces and filling over downhill surfaces. Building 105's uphill (south) side was cut, while its downhill (north) side was covered over with fill. At the northern edge of the project site, the model predicts up to 10 feet of fill soil over historic ground surface and over 15 feet of fill is expected over the predicted elevation of burials.

## **VI. IDENTIFICATION PLAN**

This AIP was prepared to guide the Project's efforts to avoid adverse effects to the historic cemetery. To provide adequate data to ensure avoidance and to guide redesign efforts, the AIP includes two principal components: 1) testing the topographic model proposed in Section V, and 2) presence / absence testing in areas of direct impact of proposed Project ground disturbance. Testing of the topographic model is discussed first below, followed by plans for investigating areas of direct ground disturbance. Project ground disturbance includes structural footings and drainage, structural micropiles, and sanitary sewer. Various shallow trenches for storm water systems, electrical conduit, and telecom are not targeted for direct archaeological identification testing. Testing of the topographic model should be sufficient to determine if these shallow improvements have the potential to impact archaeological deposits.

### **Testing the Topographic Model**

The topographic model outlined in Section V predicts substantial fill over historic ground surface across the Project site, especially to the north. Cores will be excavated along the north-south cross-section of the building and side yards, parallel to the section line in Figure 6. Two additional east-west core transects may be excavated, if necessary, perpendicular to the north-south transect. Cores may also be excavated in the u-shaped rear courtyard if it is determined to be necessary to confirm or refute the model and if utilities can be located accurately enough to ensure safety. The cores will be examined and interpreted by a geomorphologist to determine whether the model's predictions are accurate. If coring results are ambiguous or contradictory, backhoe trenching may be required to refine the model of historic landscape change and to better understand the potential for buried historic surfaces.

In order to avoid disturbing human burials, cores will be designed to remain above the predicted elevation of burials. For example, in an area with 4 feet of fill predicted to cover historic ground surface (and 9.5 feet of fill above a hypothetical burial surface), a core would penetrate far enough below 4 feet to identify historic ground surface and any buried soil horizons, but not so far as to impact potential burials. Core logs will be kept and the cores will be retained and stored at the Presidio Archaeology Lab.



## **Structural Footing and Perimeter Drainage**

Excavation directly adjacent to the existing interior building foundation to depth of 24 inches below the finished basement floor is partially completed. This excavation is largely in a joint trench intended to accommodate 1) a footing reinforcement and 2) a drainage system that wraps around the full extent of the basement. The Project was underway when Burial 1 was inadvertently discovered in a trench for footing reinforcement. The perimeter drainage footing in the immediate area of Burial 1 was not yet dug to plan when the burial was discovered. Perimeter drainage and the structural footing in the vicinity of the inadvertently discovered burial will be redesigned to avoid impacting the burial. Figure 7 shows the areas of completed excavation along with those that are outstanding. All completed areas were hand-dug with an archaeological monitor present. However, the soil profiles of the open trenches have not been carefully inspected for evidence of the stratigraphic history of the site.

The first step in identification efforts for Structural Footing and Drainage work will be the inspection of open trenches, cleaning of profiles as necessary, and description and recording of any substantive stratigraphic observations. Stratigraphic recording of exposed profiles will focus on testing the assumptions of the topographic model presented in Section V (see also the section above).

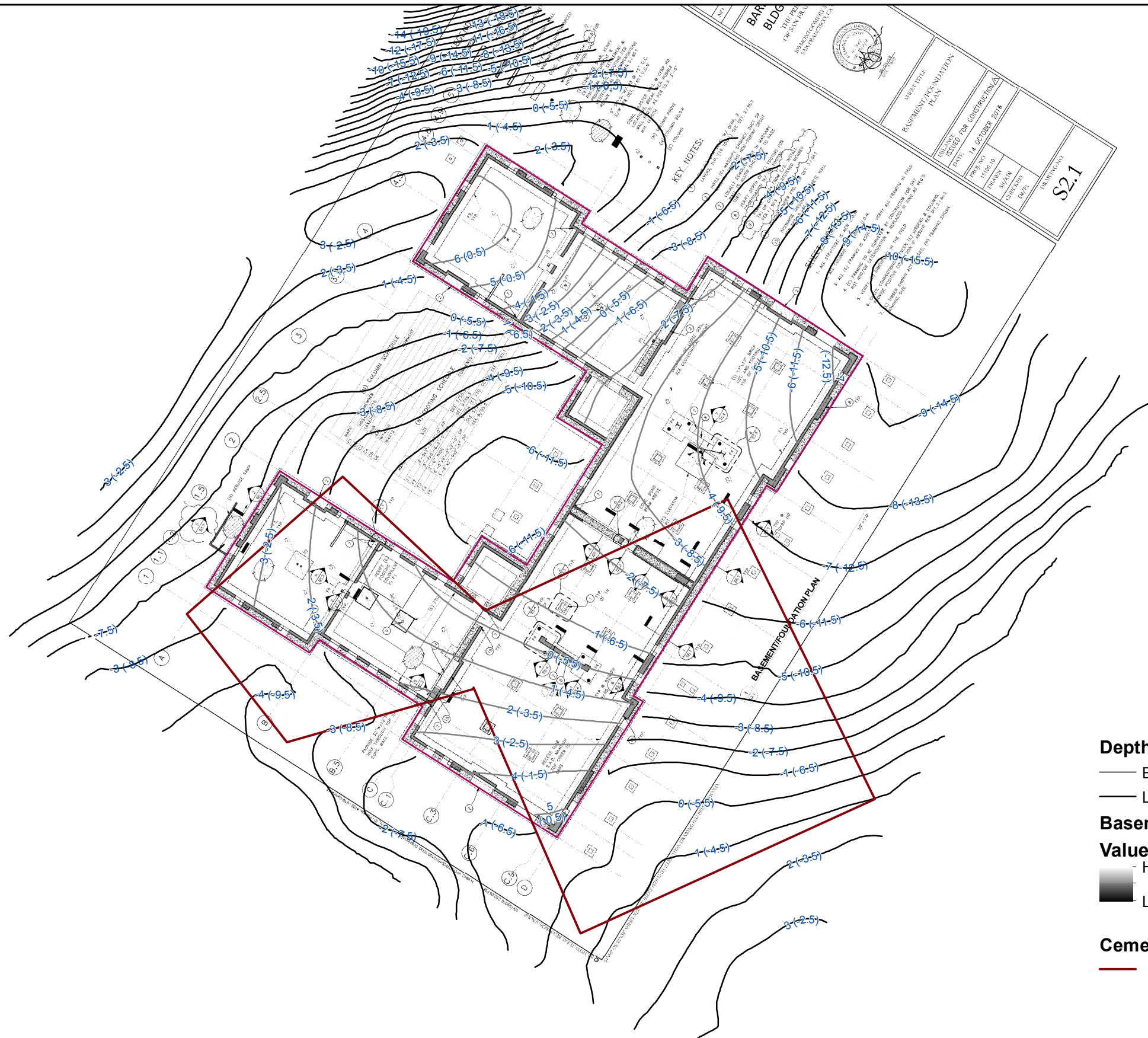
The next step in identification testing for Structural Footing and Drainage will be the removal of pavement in areas yet to be dug. Burials are not expected in these locations at the depth of proposed excavation, approximately 24 inches. If inspection of the profiles of open trenches does not yield additional information that contradicts the model of topographic change presented here (see above), careful archaeological observation of hand-digging of the remaining areas to be completed (see Figure 7) will serve as archaeological identification.

## **Structural Micropiles**

To achieve structural reinforcement of the building, the Project proposes drilling micropiles to resistance (expected at approximately 44 feet below finish floor). The micropiles are 7.625 inches in diameter and the design specifies 4 each in two locations, one north and one south (see Figure 8). The northern piles are out of the predicted extents of the cemetery and human remains are not expected. Cores will be dug in the area of direct impact for micropiles to the predicted elevation of burials. The cores will be examined and interpreted by a geomorphologist.

Testing for the southern set of micropiles is within the predicted cemetery boundary. The topographic model suggests that the basement floor in the planned southern micropile and footing location is approximately 5-6 feet above the predicted burial elevation. The first step in identification will be to remove the basement floor surrounding the micropile and associated footing in an area that measures 20 feet (east-west) by 6 feet (north-south). Excavation of this surface, which is predicted to be at or near historic ground surface, will be undertaken to determine if stratigraphic markers of burial shafts or pits can be identified. Excavation will proceed to the proposed depth of footing (2 feet). If there is no evidence for the presence of burials, cores or augers may be necessary in the area of direct impact for the proposed micropiles.





**Presidio Trust**



**The Presidio of San Francisco**

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Hans Barnaai  
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Sheet No.  
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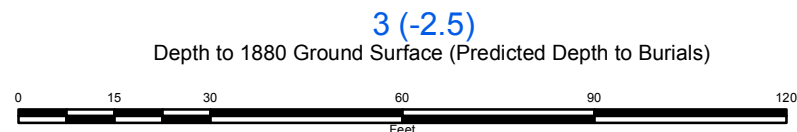


Figure 8  
**Historic Surfaces Map  
with Basement Foundation Plan  
Building 105 Rehab**

## Sanitary Sewer and Storm Drainage

The Project proposes the addition of three sanitary sewer lines (see Sheet C 4.1). These include two lines parallel to the north and south wing in the courtyard to intersect one additional new line running north south (parallel to the existing sewer line to the west of Building 105). Backhoe trenches will be excavated perpendicular to the two courtyard (east-west) trenches to the depth of proposed invert and slope of the lines. These test trenches are designed to test the topographic model and determine if there are deposits in the area of direct impact for the project. Test trenches for sanitary sewer will serve to test the area for the parallel storm drain lines as well (see Sheet C3.1). The sanitary sewer connection from the southeast corner of the basement (via ejector pump) to the existing sewer line running east west between Buildings 104 and 105 will be redesigned and does not require testing for this effort.

All excavation should be conducted according to cultural stratigraphy where possible and a stratigraphic matrix of deposits should be completed. Excavation should proceed to the depth of proposed disturbance for the project or as deep as necessary to test the assumptions of the topographic model. If archaeological features or human burials are located, they should be excavated only to the extent that they can be characterized. Any human burials, archaeological features, or substantial deposits should be **protected in place** during testing investigations. All significant features will be reburied and plans for their preservation will be developed. This may necessitate project redesign. Diagnostic cultural material and all disarticulated bone (human or faunal) noted during identification testing should be collected. All bone will be identified as human or faunal by a human osteologist. Any disarticulated human remains collected will be retained until they can be reburied on site.

A professional report will be prepared reporting on all phases of identification. The AIP and its results should guide project design for the Project to help avoid impacts to archaeological resources. Following the completion of archaeological identification and the issuance of new construction drawings, the Archaeological Monitoring Plan (AMP) will be updated to ensure continued avoidance.



## REFERENCES

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1993 National Register of Historic Places Registration Form for the Presidio of San Francisco National Historic Landmark District. On file at the Presidio Archaeology Laboratory, San Francisco, California.

French, Langran and Ogilvie

1870 Plan of the Presidio of San Francisco, lithograph.

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**APPENDIX A**  
**BUILDING 105 REHABILITATION NAGPRA PLAN OF ACTION**

**A WRITTEN PLAN OF ACTION FOR THE TREATMENT OF  
INADVERTENTLY DISCOVERED AND INTENTIONALLY EXCAVATED  
HUMAN REMAINS, FUNERARY OBJECTS, SACRED OBJECTS,  
OR OBJECTS OF CULTURAL PATRIMONY  
FOR THE  
PRESIDIO TRUST  
BUILDING 105 REHABILITATION PROJECT  
PRESIDIO OF SAN FRANCISCO**

The Presidio Trust (Trust) will implement the following written Plan of Action (POA) in response to the inadvertent discovery of human remains during construction activities associated with the Building 105 Rehabilitation Project (Project) on lands managed by the Trust. The remains are believed to be associated with a historic period cemetery used after 1776 to inter Spanish, Mexican, and Native American people. There is no evidence that the remains inadvertently discovered are Native American, but the Trust has elected to generally follow the process outlined in the Native American Graves Protection and Repatriation Act (NAGPRA), 25 U.S. Code (USC) 3001 et seq. and its implementing regulations at 43 CFR part 10, specifically 10.4 and 10.5(e). This POA also describes procedures and protocols that will be followed for the treatment of human remains, funerary objects, objects of cultural patrimony and sacred objects that are intentionally excavated for the Project, if applicable under the NAGPRA.

**PROJECT BACKGROUND**

The Project is the rehabilitation of Building 105, an historic barracks building and contributing element of the Presidio National Historic Landmark District (NHL). The Project includes new infrastructure including: new storm water, electrical, and plumbing systems; new fire protection systems; seismic reinforcement; American's with Disabilities Act (ADA) improvements, and associated landscaping.

During the project planning phase, the Trust prepared a number of guidance documents to ensure the proper treatment of archaeological resources in compliance with Section 106 of the National Historic Preservation Act (NHPA). As stipulated (Stipulation XII) in the Programmatic Agreement Among The Presidio Trust, National Park Service, The Advisory Council On Historic Preservation, and The California State Historic Preservation Officer Regarding The Presidio Of San Francisco, Golden Gate National Recreation Area (PTPA, 2014), Trust staff prepared an Archaeological Management Assessment (AMA) for the Project in October 2016. The AMA assessed the potential for the building rehabilitation to affect known and predicted archaeological deposits in the project area.

The AMA identified the "Spanish and Mexican Cemetery" as a predicted area of the NHL based on historic maps and historical documentary evidence. Available information suggested that the US Army had moved burials from the Spanish and Mexican Cemetery to the National Cemetery in the late nineteenth century. Any burials that had not been removed were predicted to have been disturbed by

the 1896 construction of a full basement for Building 105. This prediction was supported by archaeological observations at other Montgomery Street Barracks rehabilitations projects, which confirmed that the U.S. Army had largely removed another predicted area of the NHL (Laundresses' Row), by construction of the barracks in the late 19<sup>th</sup> century. The Trust's AMA recommended several design solutions that minimized excavation to reduce the possibility of encountering remnants of the cemetery. For example, essential infrastructure was located within areas that were previously disturbed or were within known areas of American-era fill soils that were imported to the site after the predicted Spanish and Mexican cemetery had ceased to function. Additionally, the AMA called for full time monitoring of all ground disturbing activities associated with the building rehabilitation by Trust archaeologists in order to record conditions and to be prepared on-site in the case of an inadvertent discovery. The Trust reiterated and detailed this direction in its December 2016 Archaeological Monitoring Plan (AMP), which identified all areas of required archaeological monitoring with reference to construction plans.

The PTPA and the AMP contain the Trust's protocol for the unanticipated discovery of human remains of any origin in the Presidio. This protocol is intended to ensure that human remains inadvertently discovered in the Presidio are protected in place and are not excavated beyond what is necessary to determine whether 1) they are human and 2) have been previously disturbed or are in situ. Finally, prior to starting construction at the site in December 2016, Trust archaeologists briefed work crews on discovery protocols specific to the site.

### **Inadvertent Discovery**

On February 13, 2017, the Trust archaeologist responsible for construction monitoring for the Project observed bone fragments in a trench that the contractor was hand-digging. Construction work was immediately ceased in the area pending positive determination of whether the bones were human. A human osteologist conducted a site visit the same day and confirmed that the bones were human. Trust archaeologists established a perimeter around the burial. In accordance with the Trust protocol for the discovery of human remains, Trust staff performed limited archaeological excavation in order to determine whether the remains were disarticulated, part of an intact burial, or larger cemetery. The Trust archaeologist noted wooden fragments interpreted to be coffin remnants, leading her to determine that the burial is at least partially intact and likely part of the larger predicted cemetery.

The Trust archaeologist immediately ceased all archaeological exploration of the burial upon recognition that it is at least partially intact, and protected the remains in place. The archaeologist directed that all ground disturbing construction activity at the Project site stop. Trust archaeology staff then covered the exposed burial with a fabric cover and had it enclosed within a security structure complete with a locked door. The Trust archaeologist transported all soil and associated materials excavated from the burial pit to a secure collections facility nearby on the Presidio, where it and all items associated with the burial will be kept in secure storage until Trust staff can rebury them with the rest of the interment. The Trust does not intend to remove or further disturb the burial, nor does it plan to disinter any other potential burials associated with the cemetery.

The burial is associated with a historic-period cemetery that may still contain the remains of Spanish, Mexican and Native American individuals interred at the Presidio beginning as early as 1776. The consulting osteologist noted that due to the condition of the burial, the ethnic identity of the individual

cannot be definitively ascertained without further disturbance of the remains, and even then positive identification would be unlikely. Nonetheless, the Trust has elected to generally employ the processes described in 43 CFR 10.4 and 5 of the NAGPRA regulations concerning this inadvertent discovery. The excavation procedures proposed in this POA and outlined in the Trust's human remains protocol are applicable to human burials and associated artifacts of all cultural or ethnic origins.

In accordance with NAGPRA protocols, the Trust's Federal Preservation Officer (FPO) contacted the following parties (hereafter referred to as "Notified Parties") after the Trust archaeologist notified him of the inadvertent discovery:<sup>1</sup>

Irenne Zwierlein  
Chairperson  
Amah Mutsun Tribal Band of Mission San Juan Bautista

Ann Marie Sayers  
Chairperson  
Indian Canyon Mutsun Band of Costanoan

Andrew Galvan  
The Ohlone Indian Tribe

Tony Cerda  
Chairperson

Rosemary Cambra  
Chairperson  
Muwekma Ohlone Indian Tribe of the SF Bay Area

Buffy McQuillen  
Tribal Historic Preservation Officer  
Federated Indians of Graton Rancheria

### **NHPA Identification Phase**

In order to ensure that the cemetery is protected and to determine how the Project may proceed, the Trust plans a NHPA identification phase. In accordance with the PTPA, the Trust will prepare an Archaeological Identification Plan (AIP) to guide these investigations. The AIP will detail specific methods to identify the vertical and horizontal extents of the cemetery relative to the Project's proposed ground disturbing activities. In order to avoid disinterring human remains or encountering other cemetery associated features, the Trust will design all investigations to be as minimally invasive as

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<sup>1</sup> The Trust developed this contact list by using the California Native American Heritage Commission contact list for San Francisco County, with the addition of the geographically nearest Federally Recognized Tribe (FIR). The Trust also contacted representatives from Los Californianos following the discovery given the possibility that the remains may be of Spanish or Mexican heritage. Los Californianos will not participate in the NAGPRA consultation under the Regulations, but the Trust will appraise their representatives of the agency's plans concerning this and any other burials associated with the historic cemetery.

is feasible. Information gathered from the NHPA identification phase will guide Project efforts to protect the cemetery in place.

## 1.0 KINDS OF OBJECTS TO BE CONSIDERED AS NAGPRA ITEMS

Objects that are subject to NAGPRA are defined at 43 CFR 10.2.

### Human remains

Human remains means the physical remains of a human body of a person of Native American ancestry.<sup>2</sup> The term does not include remains or portions of remains that may reasonably be determined to have been freely given or naturally shed by the individual from whose body they were obtained, such as hair made into ropes or nets or individual teeth. For the purposes of determining cultural affiliation, human remains incorporated into a funerary object, sacred object, or object of cultural patrimony, as defined below, must be considered as part of that item (43 CFR 10.2[d][1]).

### Funerary objects

Funerary objects means items that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed intentionally at the time of death or later with or near individual human remains. Funerary objects must be identified by a preponderance of evidence as having been removed from a specific burial site of an individual affiliated with a particular Indian tribe or Native Hawaiian organization, or as being related to specific individuals or families or to known human remains. The term burial site means any natural or prepared physical location, whether originally below, on, or above the ground, into which, as part of the death rite or ceremony of a culture, individual human remains were deposited, and includes rock cairns or pyres that do not fall within the ordinary definition of a gravesite.

### Sacred objects

Sacred objects means items that are specific ceremonial objects needed by traditional Native American religious leaders for the practice of traditional Native American religions by their present-day adherents. While many items, from ancient pottery sherds to arrowheads, might be imbued with sacredness in the eyes of an individual, these regulations are specifically limited to objects that were devoted to a traditional Native American religious ceremony or ritual and that have religious significance or function in the continued observance or renewal of such ceremony. Traditional religious leader means a person who is recognized by members of an Indian tribe or Native Hawaiian organization (43 CFR 10.2[d][3]) as follows:

- (i) Being responsible for performing cultural duties relating to the ceremonial or religious traditions of that Indian tribe or Native Hawaiian organization, or
- (ii) Exercising a leadership role in an Indian tribe or Native Hawaiian organization based on the tribe or organization's cultural, ceremonial, or religious practices.

### Objects of cultural patrimony

Objects of cultural patrimony means items having ongoing historical, traditional, or cultural importance central to the Indian tribe itself, rather than property owned by an individual tribal or organization member. These objects are of such central importance that they may not be alienated, appropriated, or

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<sup>2</sup> The remains here at issue are not known to be of Native American ancestry.

conveyed by an individual tribal or organization member. Such objects must have been considered inalienable by the culturally affiliated Indian tribe or Native Hawaiian organization at the time the object was separated from the group (43 CFR 10.2[d][4])

## **2.0 SPECIFIC INFORMATION USED TO DETERMINE CUSTODY**

The Trust will retain custody of all human remains exposed during NHPA identification efforts or Project construction. The Trust plans to leave burials in situ, to protect them in place, and design the Project to avoid disinterring human remains, funerary objects, objects of cultural patrimony and sacred objects. All human remains that are recovered during identification investigations or Project construction, whether they are disarticulated, redeposited, or from in situ burials, will be stored in archival boxes in the Trust's secure collections facility until appropriate re-interment can take place. No human remains will be accessioned into the Presidio Trust Archaeological Collections.

## **3.0 PLANNED TREATMENT, CARE, AND HANDLING OF NAGPRA ITEMS**

The Trust will treat human remains and NAGPRA items exposed during the NHPA identification effort or encountered by the Project with dignity. The Trust will make every effort to ensure that burials and associated items remain in situ and are protected in place during identification testing and subsequent Project-related construction activities, per existing agency protocols. Trust archaeologists will carefully pack and transport any items that need to be moved into temporary storage in the secure Trust collections facility to prevent damage. Trust archaeologists will reinter any human remains, burial-associated soil, and artifacts that are removed as soon as feasible; any human remains found outside of identifiable graves or in fill soils will be reburied together on site; and, if an individual grave is observed, human remains and associated items will be reinterred within the original grave. If encountered, documentation of individual burials will be performed by archaeologists in order to facilitate continued avoidance by the current Project and by any future undertakings (see Section 4 of this POA).

## **4.0 PLANNED ARCHAEOLOGICAL RECORDING OF NAGPRA ITEMS**

The Trust's intention is to avoid the disinterment of human remains, funerary objects, objects of cultural patrimony and sacred objects. If planned NHPA identification work or construction excavation reveals burials, the Trust will conduct minimal recording of the burials, including:

- Photographic documentation of visible burial trenches or coffin elements
- Plan drawings of any exposed human remains, visible burial pits, or coffin elements
- Total station mapping of all burial locations identified (xyz coordinates collected as feasible)
- All burial soil will be retained and reburied with the associated interment, so no screening will be necessary
- Artifacts associated with burials will be photographed and drawn, as necessary, to identify potential temporal or cultural association.

All information gathered in archaeological recording of NAGPRA items will be for Trust use and will not be published without first contacting the Notified Parties.

## **5.0 KINDS OF ANALYSIS PLANNED FOR NAGPRA ITEMS**

The Trust plans no destructive analysis of human remains, whether subject to NAGPRA or not. NHPA identification efforts will be designed to determine the vertical and horizontal extents of the cemetery

to predict the location of burials that may be interred there. An osteologist will be available to identify human remains. Individual burials will not be subject to additional analyses beyond what any visible portion of a burial may permit (e.g. analysis of ethnic identity, age, sex, or pathologies based on exposed skeletal elements). In all cases, the Trust's aim will be to avoid adverse effects to the cemetery, and only collect data to establish site boundaries that will inform future avoidance strategies.

## **6.0 STEPS TO BE FOLLOWED TO CONTACT NOTIFIED PARTIES IN THE EVENT OF INTENTIONAL EXCAVATION OF NAGPRA ITEMS**

The Trust will keep Notified Parties informed of the progress and findings of its NHPA identification efforts. Notified Parties will be provided a copy of the AIP and be given notice before identification excavation proceeds. In the event of exposure of additional burial plots or the discovery of additional in situ human remains that may be of Native American origin, during NHPA identification investigations or after the resumption of construction activities, Notified Parties will be contacted via phone and in writing within three working days and be given the opportunity to conduct site visits.

## **7.0 KINDS OF TRADITIONAL TREATMENT TO BE USED FOR NAGPRA ITEMS**

The Trust will confer with the Notified Parties to determine what, if any, traditional treatments are appropriate, and where they may be performed.

## **8.0 NATURE OF REPORTS TO BE PREPARED**

The Trust or its contractors will prepare reports of all investigations conducted, including, at a minimum, an Archaeological Identification Report to be completed at the conclusion of the NHPA identification phase and an Archaeological Monitoring Report to be completed at the completion of Project related construction. Any maps, illustrations, and photographs of NAGPRA items will be included in the reports as confidential appendices that can be detached as separate documents. The reports will be distributed as specified in the PTPA and to notified parties as requested.

## **9.0 PLANNED DISPOSITION OF NAGPRA ITEMS**

As stated in Sections 2.0 and 3.0, the Trust's intention is to avoid the disinterment of human remains, funerary objects, objects of cultural patrimony and sacred objects. NAGPRA items left in situ or reinterred shall remain in the custody of the Trust and will not be repatriated.

Signed:   
Jean Fraser, CEO, Presidio Trust

Date: 3/22/17



## APPENDIX A

Meeting notes from NAGPRA consultation meetings held at the Trust's offices, March 15 and 17, 2017. All Notified Parties were invited to attend either meeting.

### Meeting 1: March 15, 2017

Attendees: Eric Blind, Kari Jones, Rob Thomson (Presidio Trust); Andy Galvan (The Ohlone Tribe)

- Kari Jones reviewed a newly-prepared surface plan depicting predicted depths across the project site, and briefly summarized the archaeological identification plan described in the draft Plan of Action. (Mr. Galvan had already visited the site of the inadvertent discovery during a previously arranged visit on February 16.)
- Mr. Galvan recommended replacing the remains collected from the inadvertently discovered burial back into the grave from which they were found, and then reburying it; if disarticulated remains encountered during future phases of work, he recommended keeping them in a secure place during construction, and then finding a single spot to rebury them at the project's end below the floor slab in the basement. He further recommended including an identifier sealed in lead tube, and plotting the location in the event of future ground disturbing work.
- Mr. Galvan expressed his opinion that the inadvertently discovered burial was likely not Native American given the presence of a coffin and the likely age of the burial (late 18<sup>th</sup>/early 19<sup>th</sup> century); the Trust has noted that, while the identity of this individual cannot be determined, there is the possibility that other burials in this cemetery may be Native American individuals.
- Mr. Galvan recommended pursuing a research project on the history, uses and occupants of the cemetery; he extended a warm invitation to use the Mission Dolores archive to this end, an invitation that he also extended to the other notified parties.
- Mr. Galvan suggested that some type of interpretation could be pursued as a means of granting dignity to those that had been put to rest in the cemetery.
- Finally, Mr. Galvan requested notification as the identification plan proceeds and an opportunity to visit the site again at that time.

### Meeting 2: March 17, 2017

Attendees: Eric Blind, Kari Jones, Rob Thomson, Jeanne Miernyk (Presidio Trust); Irenne Zwierlein, Chris Zimmer, Shelby Zimmer (Amah Mutsun Tribal Band of Mission San Juan Bautista)

- Rob Thomson, Kari Jones, Eric Blind, Ms. Zwierlein, Mr. Zimmer and Ms. Zimmer visited the site of the inadvertent discovery with Trust Construction Manager Jeanne Miernyk at building 105. Kari Jones recapped the circumstances of the discovery and the Trust's response, and the remains were uncovered for the visitors to view.
- Upon returning to building 103, Ms. Zwierlein asked what the Trust's next steps were, and how she could help. Kari Jones described the forthcoming identification plan, and

## FINAL DOCUMENT

reiterated the Trust's intention to conduct investigations in order to enable the project to avoid encountering any other archaeological deposits (including burials).

- Mr. Zimmer asked if the identification plan would be conducted via excavation, and what records were available describing the cemetery that could guide the Trust's work. Kari Jones responded that some limited excavation would be needed to confirm the theories put forward in the identification plan and guide ongoing construction. She reiterated that no large-scale excavation or attempts to reveal, define the limits of, or excavate additional burials within the cemetery would be undertaken.
- Ms. Zwierlein asked if Native Americans at the Presidio were baptized or not; Eric Blind indicated that our records were incomplete on this issue. She noted that many burials from the eighteenth century at Mission San Juan Bautista were coffin burials (as evidenced by the presence of a coffin maker in many historical records).
- Ms. Zwierlein concluded by asking to be kept informed of the progress on the identification plan, and indicated that she'd be happy to work with the Trust as needed.

# Appendix G



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November 21, 2017

Julianne Polanco  
California State Historic Preservation Officer  
Office of Historic Preservation  
Attention: Mark Beason  
1725 23rd Street, Suite 100  
Sacramento, CA 95816

Laura E. Joss  
Regional Director, Pacific West Region  
National Park Service  
Attention: Doug Wilson  
333 Bush Street  
San Francisco, CA 94104-2828

Cecily Muldoon  
Acting Superintendent  
Golden Gate National Recreation Area  
Attention: Elaine Jackson-Retondo  
Building 201 Fort Mason  
San Francisco, CA 94123

**Reference: Consultation on Presidio Tunnel Tops – Conditional Finding of No Adverse Effect**

Dear Colleagues:

This letter serves to document and define the parameters of a Conditional Finding of No Adverse Effect for the Presidio Tunnel Tops project (undertaking).

The undertaking is a 14-acre project comprised of the landscaped area at the north end of the Main Post, over the eastern tunnel of the Presidio Parkway and extending into portions of mid-Crissy Field. The project includes the rehabilitation of National Historic Landmark (NHL) - contributing building 603 (Post Exchange, 1939) to accommodate a Crissy Field Youth Center, construction of two new buildings (buildings 601 and 602) to support the building 603 program, and the demolition of non-historic building 211 (Cafeteria, 1968). The project scope also includes landscaping, paths, furniture, and overlooks to support public use of the new landscaped area.

Following a final consultation meeting on October 31, the parties agreed to the following conditions necessary to achieve concurrence on a determination of “no adverse effect with conditions” pursuant Stipulation IV.C.2.d.1.d of the PTPA. The conditions necessary for concurrence are listed below:

### **Section I: Items Requiring Additional Review**

#### **Transit Café Patio Shelter**

- The undertaking proposes a rectangular covered patio area of approximately 950 square feet located immediately north of existing building 215 and oriented parallel to Graham Street. The design of the canopy structure will be open, light, transparent, and visually subservient to the Transit Center. The finishes, lighting, and roof material of the canopy will be determined during the design phase.

#### **Learning Landscape Play Elements**

- The Tunnel Tops project proposes a set of play elements in the Learning Landscape as detailed in the July 20, 2017, consultation package.

For the Learning Landscape Play Elements and the Transit Café Patio Shelter:

- The Trust will submit a full size 100% schematic design package (SD) for buildings, structures, and landscape to signatory parties that describes the design of the patio shelter and Learning Landscape play elements.
- Within 15 calendar days, signatory parties will return written comments to the Trust confirming that the patio shelter and play elements do not constitute an adverse effect, and therefore are consistent with this determination of “no adverse effect with conditions”.
- If the signatory parties cannot confirm the no adverse effect determination, they will consult with the Trust for a period not to exceed 15 calendar days to resolve and maintain the no adverse effect with conditions determination.
- If, after the steps identified in Section I are taken, the signatory parties fail to reach agreement on any of the above items, any signatory party may raise a dispute under Stipulation IX (Dispute Resolution) of the PTPA. The entire undertaking will be the subject of dispute and The Trust shall stop work on the disputed portion of the undertaking until the dispute is resolved. Work on project elements that are not the subject of dispute may proceed.

### **Section II: Verification of Design Approach Agreed upon During Consultation**

- The Trust will provide full-size, select pages of the 50% Construction Document (CD) set for buildings, structures, and landscape to the signatory parties to provide review, and consultation if necessary, on the further development of the following design elements and verify that they are consistent with the design approach as discussed during the consultation process (see Exhibit A). The design elements to be reviewed and verified through this process are as follows:

- Terraced Seating (Exhibit B)
  - Transitional landscape between Lincoln Boulevard, the Visitor Center (210) and the Western Hollow (Exhibit C)
  - Pavement modification at the Outdoor Use Area west of building 201 (Exhibit D)
  - Repairs and modification of the glazed annex on the north elevation of 603 (Exhibit E)
  - Windows, siding and entry of new building 601 (Exhibit F)
  - Learning landscape/Mason Street edge condition, berms and tree eliminations (Exhibit G)
  - Lowered height of the Central Overlook (Exhibit H)
  - Path modifications (Exhibit I)
  - Reduced CYC courtyard canopy (Exhibit J)
  - Enhanced planting on east elevation of building 602 (Exhibit K)
- Within 15 calendar days of receipt of the 50% CD set, signatory parties will return comments to the Trust confirming that the drawings reflect the design approach agreed upon during the consultation and therefore are consistent with this determination of “no adverse effect with conditions”.
  - If the signatory parties cannot confirm that the drawings reflect the design approach, they will consult with the Trust for a period not to exceed 15 calendar days on these elements.
  - If, after these steps, the signatory parties fail to reach agreement on any of the above items, any signatory party may raise a dispute under Stipulation IX (Dispute Resolution) of the PTPA. The entire undertaking will be the subject of dispute and The Trust shall stop work on the disputed portion of the undertaking until the dispute is resolved. Work on project elements that are not the subject of dispute may proceed.

#### Integral Color Concrete Sample

- The Trust will provide each of the signatory parties with a sample of the integral color concrete for wall elements (dark gray) to confirm that this approach is consistent with the concrete color palette described in Exhibit A.
- Signatory parties may respond in 15 calendar days with any comments or questions on the color sample.

#### Final Drawing Set

- The Trust will provide the signatory parties with an electronic version of the 100% CD for buildings, structures, and landscape set as a record of final project conditions.

### **Section III: Rehabilitation of Building 201**

- The Trust will review the rehabilitation and/or tenant improvement scope for building 201 as a separate undertaking under Stipulation IV.C.1 of the PTPA when it receives a proposal. The Trust will notify signatory parties via electronic mail when design for a specific proposal commences.

#### **General Provisions**

#### Failure to Respond

- Failure to respond to comment opportunities within any of the timeframes established above shall be deemed a waiver of the opportunity to comment on the item under consideration, per Stipulation IV.C.3 of the PTPA.

#### Dispute Resolution

- If the parties fail to reach agreement on any of the above conditioned items, or if any of the above conditions cannot be met, any signatory party may raise a dispute under Stipulation IX (Dispute Resolution) of the PTPA. The entire undertaking will be the subject of the dispute.
- If Stipulation IX of the PTPA is invoked, the consultation between the Trust, SHPO, and NPS will conclude and the proposed Finding of No Adverse Effect with Conditions will no longer be applicable.
- As stated in Stipulation IX, the Trust will notify the signatory parties with a written response to the signatories describing how it has taken comments from ACHP into account and the Trust's final decision about the dispute.

#### Completion of Conditions and Conclusion of Consultation

- Upon completion of the stipulations described above, the Trust shall submit a letter to the signatory parties requesting verification that the conditions have been met.
- If the signatory parties agree, they shall respond with a letter verifying all conditions have been met and the Finding of No Adverse Effect with Conditions stands.
- If the conditions are met, the signatory parties also agree that the undertaking will also have no adverse cumulative effect.
- Final verification will also denote the Trust's compliance with the responsibilities it accepted from the Federal Highway Administration's Doyle Drive Programmatic Agreement through the amendment of that agreement concerning the Tunnel Tops undertaking

Thank you for your efforts to consult on this undertaking.

Sincerely,



Jean Fraser  
Chief Executive Officer  
Presidio Trust



Julianne Polanco, California State Historic Preservation Officer



Laura E. Joss, Regional Director, Pacific West Regional Office, National Park Service

CC:

Najah Duval, Advisory Council on Historic Preservation

# Exhibit A



Tunnel Tops Consultation Issues Tracking Matrix - Follow up to October 24 and October 31 Consultation Meetings

*Note: References in the Response column are to exhibits found in the July 20, 2017 consultation package unless otherwise noted*

Color codes:

Dark green – Resolved, no further discussion needed

Light green – Conceptually resolved based on discussion at 10/24 meeting, verification needed via final drawings during CD phase

Orange – Unresolved pending further discussion after the 10/24 meeting

Yellow – Parties agree to include in a CNAE for further consultation

No./Element	Comment	Response	Notes	SHPO Responses 10.4.17	NPS Responses 10.11.17	Trust Responses 10.18.17	Agreements from 10.24 & 10.31
1. 603 Rehab	Concern about historic loading dock becoming an attractive nuisance without further limiting access	Access to loading dock is limited by adjacent landscaping on the west elevation, and the elimination of non-historic stairs and railings. The design team does not foresee this as an issue, and the elimination of the non-historic elements to restore the open loading dock is preferred.	Resolved	Resolved	Resolved	Resolved	Resolved
2. 603 Rehab	Look for ways to reduce prominence and visual/material “weight” of the proposed new canopy structure on south elevation	The new canopy has been broken into separate segments at 603 and the Lab building (602); the canopy on the 603 elevation has been minimized so that it's only oriented over the new entrances. [See Exhibit B]	Resolved	Resolved	Resolved	Resolved	Resolved
3. Terraced Seating	Redesign the Terraced Seating so it is more "broken up" and contiguous with rather than an interruption of new bluff landscape; the current repetition of forms, “crispness” of new features remains an issue	The terraced seating has been redesigned to follow the contours of the bluff face, with enhanced planted character and reduced hardscape elements. [See Exhibits G, H]	Resolved	Items 3 – 6: Design is better and responsive to previous comments. The SHPO proposes continuing consultation on the final design and detailing of this feature as a condition for the No Adverse Effect finding. Please provide full size 50% Construction Documents for this feature.	Resolved	Please clarify what remains at issue based on information provided to date (reference p. D6-D9 of April 10, 2017 package, which provides detailed drawings, along with July 20 design clarifications made in response to consultation comments).  <b>Trust proposes moving item to “Resolved” without further</b>	Conceptually resolved; design verification needed at CD

						consultation based on information provided to date.	
4. Terraced Seating	Look for ways to define the Terraced Seating as a more naturalistic element than currently shown; the biggest issue is its current appearance as a concrete feature interrupting the natural bluff face	The terraces have been revised as curvilinear, softer features following the contours of the bluff face, rather than straight elements interrupting the contours of the bluff face. [See Exhibits G, H]	Resolved	See above	Resolved	See response to item 3 above.	Conceptually resolved; design verification needed at CD
5. Terraced Seating	Suggestion that the feature could read more as a grassy slope with irregular seat walls	The grass treads have been pitched to increase the visibility of the plantings while maintaining a comfortable seating slope; risers have been reduced in number (from 12 to 10) and height (from 18" to 16"). [See Exhibits G, H]	Resolved	See above	Resolved	See response to item 3 above.	Conceptually resolved; design verification needed at CD
6. Terraced Seating	Look for ways to pull vegetation further into/through the feature, and eliminate or minimize hard lines running through it	The terraced seating has been softened with more curvilinear lines and vegetation extended into the terraces on the west edge. [See Exhibits G, H]	Resolved	See above	Resolved	See response to item 3 above.	Conceptually resolved; design verification needed at CD
7. Western Hollow	Minimize the visual separation between the Western Hollow and the Main Parade by reducing or eliminating the low berm between the features	The berm between Lincoln and the Western Hollow has been lowered to enhance the visual connection between the new area and the Main Parade. [See Exhibit I]	Resolved	Resolved	Resolved	Resolved	Resolved
8. Western Hollow	Look for ways to make the transition between this area and the Main Parade less abrupt by minimizing the prominence of the curves and patterns in the Western Hollow landscape	The network of paths in the Western Hollow has been simplified and number of paths reduced; the landscape areas adjacent to 210 (Visitor Center) and Lincoln have been revised as rectilinear	Potentially resolved - didn't fully discuss. Request confirmation.	Items 8, 13 (Welcome Plaza), 14 and 15 (Bluff Top Landscape): The SHPO appreciates the effort to make the north edge of Lincoln Boulevard a transition area between the Main Post and the Tunnel Tops area.	Conditionally resolved, awaiting design revision. The areas adjacent to the Visitor Center (VC) should be further simplified and adopt a more rectilinear pattern to better integrate into the adjacent Main Parade Ground. In other words, expand the more rectilinear zone	The Trust has extensively studied the relationship between areas of the Main Post south of Lincoln and north of Lincoln (see Main Post CLR and Main Post Planning & Design Guidelines), and concluded the following:	Conceptually resolved with design changes to Western Hollow/Lincoln transition; design verification needed at CD

		elements, rather than curvilinear elements to improve the transition from the Main Parade to the Western Hollow. [See Exhibits H, I]		<ul style="list-style-type: none"><li>o However, the curvilinear design as shown in the documents provided by the Trust erodes the historic military distinctions that are character-defining features of the Main Post area of the National Historic Landmark District.</li><li>o The SHPO proposes that the Trust implement a more rectilinear design for pathways in this transition area as a condition for the No Adverse Effect finding. SHPO proposes the Main Post transition area be defined as the area from the north edge of Lincoln Boulevard to a line approximately three feet north of the current Observation Post (Building 211) and extending east to the Transit Center (Building 215).</li></ul>	further into the project area around the VC in a more substantial engagement with the Main Parade Ground grid. The Western Hollow will be quite visible from the northern most room in the Visitor Center (which is largely glass), as well as from the length of the Parade Ground, which gains elevation on the southern end.	<p>The area north of Lincoln has always been distinct from the more formal, rectilinear geometry of the Main Parade area, south of Lincoln. Although stables and back-of-house buildings existing in the area north of Lincoln from ca. 1870-1915 were oriented to the Main Parade, they were not associated with a formal landscape that carried the geometry of the Main Parade across Lincoln. The military distinctions characteristic of the area south of Lincoln are not character defining to the area north of Lincoln. <b>See Figure 8.A.</b></p> <p>In 1900 the army constructed building 210 (current Visitor Center) oriented at an angle to the Main Parade and the street grid south of Lincoln. The stables were removed ca. 1915; after 1915 the area north of Lincoln was either open or populated with structures oriented to Halleck, Mason or (later) Doyle Drive, not the Main Parade. <b>See Figure 8.B.</b></p> <p>In March of 2015, during the early concept phase, Trust studied carrying the rectilinearity of the Main Parade across Lincoln and concluded that this would be incompatible with the character of the Main Post Bluff area, and would introduce a false sense of history by imposing a rectilinear design on the area that did not exist historically. <b>See Figure 8.C.</b></p>	
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						<p>The edge conditions of the site north of Lincoln and west of Graham in the current design do include rectilinear elements that help transition from the Main Parade's grid to the more naturalistic areas further north/west, and in relationship to the recreated bluff landscape. See <b>Figure 8.D</b>.</p> <p>Furthermore, the Trust has studied the sight lines noted in the NPS comment and finds that the paths, planters and lawns of the Western Hollow area of the Tunnel Tops will not be readily discernable from the ground plane or viewing area of the Visitor Center (<b>See Figure 8.E</b>), or from the Main Parade (<b>See Figure 8.F</b>).</p> <p><b>Trust proposes moving this item to "Resolved" following discussion on 10/24.</b></p>	
9. Canteen	Trust is rethinking this feature, including possibility of eliminating the proposed new 9,294 sq./ft. building in favor of retaining existing building 215 and adding a new freestanding, bathrooms-only structure to its north; additional information forthcoming	The proposed new Canteen building has been eliminated in favor of food service at historic building 201, plus an expanded outdoor picnic area and canopy north of non-historic building 215 (Transit Center); the existing Transit Center will be retained, and no new construction on this site will be pursued. [See Exhibit H]	Potentially resolved - didn't fully discuss. Request confirmation.	<ul style="list-style-type: none"> <li>Item 9: Removing the new Canteen Building from the design is responsive to previous comments and appreciated. <ul style="list-style-type: none"> <li>However, the information provided for the replacement proposal of a new canopy and outdoor dining area is not well defined in the information provided.</li> <li>The SHPO proposes continuing consultation on 50% Construction Documents as a condition for the No Adverse Effect finding.</li> </ul> </li> </ul>	Resolved	<p>The Tunnel Tops project proposes a rectangular covered patio area of approximately 950 sq/ft. The patio area will be located north of existing building 215 and oriented parallel to Graham Street. This space will serve as the seating area for the remodeled Café (non-historic building 215) and will also be available for general use by park visitors. The covered patio will provide wind and rain protection for use year round. The design of the canopy structure will be open, light, transparent, and visually subservient to the Transit Center. The finishes, lighting, and roof material of the canopy</p>	Patio cover is accepted as item for continued consultation

						<p>will be determined during the design phase.</p> <p><b>Trust proposes to continue consultation on this item into the next phase of design.</b></p>	
10. 201	Trust’s explanation that 201 was envisioned as food service and means for reducing new construction at Canteen site was helpful in understanding proposed landscape program	Historic building 201 is planned to house the food service program that was envisioned for the new Canteen building.	Potentially resolved - didn’t fully discuss. Request confirmation. (Note: Although the current thinking is that 201 will be used for food service, this use could change. The rehabilitation of Building 201 will be reviewed as a separate undertaking.)	<ul style="list-style-type: none"> <li>Based upon the clarification provided by the Trust that the rehabilitation of Building 201 will be subject to a separate consultation, the SHPO has no further comments.</li> <li>However, the design of the new outdoor use of the area adjacent to the west side of Building 201 requires further consultation. The SHPO proposes continuing consultation on 50% Construction Documents as a condition for the No Adverse Effect finding.</li> </ul>	Conditionally resolved. NPS would like to have seen the rehabilitation of Building 201 as part of this consultation since the programmed function was part of the undertaking previously and the building is within the project boundary; however, we are willing to accept as separate consultation if referenced in the Tunnel Top agreement (if there is one) and if the State Historic Preservation Officer and Advisory Council for Historic Preservation agree that this would not constitute a piecemeal approach to the undertaking.	<p>Response to SHPO: Please clarify what issues remain regarding the outdoor use area west of 201 based on information provided to date (reference p. I8 and I9 of the April 10, 2017 package).</p> <p>(Note on previous response: Although the current thinking is that 201 will be used for food service, this use could change. Also, Building 201 is located outside the project boundary.)</p> <p><b>Trust proposes moving the outdoor use item to “Resolved” without further consultation based on information provided to date.</b></p> <p><b>Trust will commit to consulting on the rehabilitation/tenant improvement scope for building 201 as a separate undertaking under Stipulation IV.C.1 of the PTPA when a proposal comes forward.</b></p>	<p>201 rehab –consultation plan accepted as proposed</p> <p>Outdoor use area conceptually resolved with addition of DG tree well north of picnic area; design verification needed at CD</p>
11. Overlooks & Paths	Reduce visual prominence of Central Overlook retaining wall by adding a planting well at the base of the concrete feature to reduce its apparent height and soften hardscape below the feature/at the top of the Terraced Seating	It is not feasible to introduce a planting well in this location due to space and grading constraints; this area is expected to have a high volume of foot traffic based on use studies.	Potentially resolved based on acceptance of newly-presented Central Overlook Study (included in this transmittal). Request confirmation.	<p>Items 11 and 12: The SHPO is concerned about the visual prominence of the paths and overlooks.</p> <ul style="list-style-type: none"> <li>Continuing consultation on this point is a condition for the Finding of No Adverse Effect.</li> <li>In continuing consultation on this item, the Trust should describe how it intends to</li> </ul>	Resolved. Reducing the height of the retaining wall by two feet, as described in the sketches submitted to NPS, has reduced the visual impact of the feature to an acceptable level.	Response to SHPO comments: The Trust plans to use integral colored concrete throughout the project. The Trust standard paving color (Miami Buff) will be used for the concrete paths and a darker color will be used on the walls so as to recede into the landscape (reference pages E16-E24 of April 10, 2017	Conceptually resolved; verification of concrete color sample for dark gray integral color needed at CD

				<p>reduce the visual prominence through material choices.</p> <p>As mentioned in the General Comment above, integral colored concrete and paving alternatives should be used where possible.</p>		<p>package, which illustrate specialty finishes and material precedent examples).</p> <p><b>See enclosed Figure 11.A.</b> for an overview of hardscape/landscape areas in current design compared to 2009 condition.</p> <p><b>Trust proposes moving item to “Resolved” without further consultation based on information provided to date.</b></p>	
12. Overlooks & Paths	Look for ways to minimize the amount of pavement/hardscape, and minimize visual prominence of the paved slopes below the overlooks	No change; proposed plantings at the base of the overlooks will sufficiently screen these features from vantage points on the bluff trails and at Crissy Field.	See above.	See Above.	Resolved	<b>See response to item 11 above.</b>	Conceptually resolved; verification of concrete color sample for dark gray integral color needed at CD
13. Welcome Plaza	Reduction in hardscape from earlier proposals is positive, grace and character of path curves is encouraged	The overall path network has been simplified and path intersections tightened to reduce their visual prominence (in plan). [See Exhibit I]	Potentially resolved based on landscape study discussed at the meeting (Study C). Request confirmation.	<p>Items 8, 13 (Welcome Plaza), 14 and 15 (Bluff Top Landscape): The SHPO appreciates the effort to make the north edge of Lincoln Boulevard a transition area between the Main Post and the Tunnel Tops area.</p> <p>o However, the curvilinear design as shown in the documents provided by the Trust erodes the historic military distinctions that are character-defining features of the Main Post area of the National Historic Landmark District.</p> <p>o The SHPO proposes that the Trust implement a more rectilinear design for pathways in this transition area as a condition for the No Adverse Effect finding. SHPO proposes the Main Post transition area be defined as the area from the north edge of Lincoln</p>	Resolved	<b>See response to item 8.</b>	Conceptually resolved; verification of design changes at Western Hollow/Lincoln Blvd transition needed at CD

				Boulevard to a line approximately three feet north of the current Observation Post (Building 211) and extending east to the Transit Center (Building 215).			
14. Bluff Top Landscape	The landscape elements on the bluff top appear “too loopy”; the oval, bean, egg- shaped landscape elements appear so conspicuous as to detract from the historic district	The planter between the two lawn areas has been reduced to better integrate the features and reduce their prominence. [See Exhibit H]	Potentially resolved based on landscape study discussed at the meeting (Study C). Request confirmation.	See above.	Conditionally resolved, awaiting design revision. While the distinct loopiness remains in the scheme, modifications requested in Element 8 (above) combined with the plantings that line and screen most paths, the visual impact of this characteristic may be reduced to an acceptable level. This relatively small, partially visible, topographically varied transitional site between the main parade ground and Crissy Field can support a more curvilinear form that is perhaps more naturalistic than the exaggerated geometry currently proposed.	<b>See response to item 8.</b>	Conceptually resolved; verification of design changes at Western Hollow/Lincoln Blvd transition needed at CD
15. Bluff Top Landscape	Look for ways to reduce scale of paths in order to downplay prominence of new circulation features, while still accommodating emergency vehicle access and visitor uses	Paths have been reduced in scale while still maintaining emergency vehicle access; path intersections have been tightened and path network simplified. [See Exhibit H]	Potentially resolved based on landscape study discussed at the meeting (Study C) and additional discussion of Exhibits H and I (from the July 20 package). Request confirmation.	See above.	Resolved	<b>See response to item 11.</b>	Conceptually resolved; verification of design changes at Western Hollow/Lincoln Blvd transition needed at CD
16. 603 Rehab	Full drawing set is needed to fully understand impacts.	Full set included in this package [See Exhibit A]	SHPO has additional questions about effects to remaining interior historic features, new mechanical system, loading dock glazed enclosure, glazing specs.	The SHPO agrees with the rehabilitation approach described. The Trust has sufficiently documented the integrity and work proposed for the interior of Building 603 and no further consultation about it is necessary.	Resolved.	Resolved	Resolved
17. 603 Rehab	Not enough information is provided about the rebuilt north (glazed) addition to understand proposal	All available details are in the full building drawing set [See Exhibit A]	See above	The SHPO agrees with the rehabilitation approach described. The Trust has sufficiently documented the integrity and work proposed	Resolved	The Trust offers the SHPO the following information in an effort to clarify the limited scope of work proposed for the annex:	Conceptually resolved; verification with detailed drawings to demonstrate which option is pursued needed at CD



				<p>for the interior of Building 603 and no further consultation about it is necessary.</p> <p>However, the SHPO proposes continuing consultation on the glass annex on the north side of Building 603 as a condition for the No Adverse Effect finding. For this consultation, please provide full-size 50% Construction Documents of this feature, along with any applicable specifications and cut sheets.</p>		<p>The building 603 rehabilitation will include modifications to the glazed annex on the north elevation of building 603 (added in 2000). The Tunnel Tops project will deliver one of two options depending on available funding as described below. Both options will be performed within the footprint of the existing annex and the roof/ 2<sup>nd</sup> story balcony floor will remain at the same elevation and plan.</p> <p><i>Limited Funding:</i> The scope would be limited to waterproofing repairs and replacement of existing blue glazing. The annex glazing will be replaced with a clear, insulating (double-paned) low “e”, bird-safe glass. To meet code, the bottom 30” of the annex will have insulating (double-paned) translucent laminated glass. Waterproofing repairs will occur at the annex roof/2<sup>nd</sup> story balcony floor and connection points between the annex and building.</p> <p><i>Additional Available Funding</i> (as shown in plan set circulated in April): This scope would include replacement of the glass as described in the Limited Funding scenario along with new extruded aluminum mullions in a standard curtain wall profile. Like Option 1, the annex roof/2<sup>nd</sup> story balcony floor will remain at the same elevation and plan, with repairs to address persistent water infiltration issues. Additional scope items</p>	
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						<p>would include replacement of the existing balcony railing installed in 2000. The new railing would feature simple, lightweight, repetitive geometry designed to minimize their visual presence as compared to the existing railing.</p> <p><b>Trust proposes moving item to “Resolved” without further consultation based on information provided to date.</b></p>	
18. Crissy Youth Campus	Reorient new buildings to be parallel to Mason Street, rather than perpendicular	Buildings to remain in current orientation; the Trust finds the new buildings' orientation to be compatible with historic patterns of development along Crissy Field and consistent with existing guidelines for new construction in the district; the perpendicular orientation supports the Youth Campus' education program, while allowing the Lab (602) to be screened behind historic building 603 when viewed from Mason Street.	Trust will engage designer to study this issue further, offer alternatives in order to resolve.	<p><b>General comment:</b> Articulation issues need to be resolved as a condition for the Finding of No Adverse Effect. Provide full-size drawings as the design continues to be developed.</p> <p>“Trust will engage designer to study this issue (reorienting the buildings) further, offer alternatives in order to resolve.” The SHPO agrees to continuing consultation on this item as proposed and as a condition for the Finding of No Adverse Effect.</p>	<p>Conditionally resolved, awaiting design revision from the proponent or the Trust. A set of earlier concepts for the Crissy Field campus (June 3, 2015 meeting package), left the area where Building 602 is currently proposed open. The four schemes included:</p> <ul style="list-style-type: none"> <li>• Scheme one- rectangle building placed at an approximately sixty degree angle to Building 603 and partially engaged in the slope of the bluff and the east side of the courtyard was nearly completely open with a short L-shaped retaining wall marking the southeast corner of the courtyard and a covered (no walls) area for outdoor classrooms along the east side of the courtyard.</li> </ul> <p>Scheme two -similar to the first scheme except that the new building would have a wedge shaped footprint.</p> <p>Scheme three -similar to first scheme except the new building is L-shaped and the L-shaped retaining wall is omitted.</p> <p>Scheme four- similar to the third scheme, however the L is flipped and the L-shaped retaining wall is reintroduced.</p>	<p>Response to SHPO Comments: Trust requests clarification on what is meant by “articulation issues” related to this design element. Please refer to plans included in the April 2017 package, Element B for DD-level drawings for buildings 601 and 602. (Please note that these plans do not reflect the most recent changes agreed upon in consultation since July).</p> <p>The schemes cited in the NPS letter date to May 2015 and were prepared for an early Tri-Agency (NPS, PT, GGNPC) design meeting with the project architect. (These drawings were not part of a consultation package.) The Tri-Agency design team studied and rejected these schemes for the following reasons:</p> <p>A single angled, wedge shaped, or L shaped building was determined by all parties to be substantially less compatible than two smaller, simple rectilinear buildings set back from Mason behind 603, and oriented per the historic pattern</p>	Conceptually resolved on 10/31 with enhanced planting proposal presented on 10/24; verification of design changes needed at CD.

					<p>While these proposals needed additional work to make the architectural character of the proposed new building more compatible, one thing that all four schemes had in common was leaving the east side of the courtyard open, which allowed Building 603 to remain in the forefront and did not impact Building 603 to the same degree as the current proposal. Additionally, the "Baseline Concept" for the campus included in the package shows two new buildings that are parallel to Building 603.</p> <p>Explore rotating building 602 so that it forms the south side of the courtyard, which opens up the east side, or revisit the "Baseline" concept proposed in the June 3, 2015 meeting package. The first approach retains a courtyard and reduces wind, and both approaches reduce the impact to Building 603 and to the archaeological site (AR-30). This possibly could be done without totally rethinking programming.</p>	<p>of development in the area. Furthermore, engaging the new building(s) into the bluff itself was determined infeasible due to engineering challenges.</p> <p>Per the study reviewed at the Sept. 15, 2017 consultation meeting, two parallel or two perpendicular buildings would be equally compatible with the historic pattern of development in the area. One parallel and one perpendicular building (<b>see Figure 18.A</b>) would be less so.</p> <p>Since the September 15, 2017 consultation meeting, the Presidio Trust has studied the orientation of the buildings and stands by the finding that two perpendicular buildings are compatible. Neither orientation would affect AR-30, since avoidance is achieved vertically (see Tunnel Tops AMA, 2015).</p> <p>The current scheme dates to October 2015 (and included in the FOE package for SHPO and NPS review); changing the orientation of building(s) at this late state in design would entail significant redesign and reconsideration of the Youth Campus program.</p> <p>The current scheme serves the program needs by creating a sheltered, secure area for youth education programs that also screens the adjacent Doyle Drive service yard to the east with minimal fencing; new construction is substantially set back from the primary historic</p>	
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						<p>elevations of 603 (east and north) and Mason Street.</p> <p>The Trust has recently studied additional opportunities to minimize the visibility of the Lab Building (602) from Mason Street, and helping the east elevation of 603 “to remain in the forefront” as suggested. In order to further screen the east elevation of building 602, Trust proposes to relocate the bike storage enclosure to create more space for dense planting in this area, south of 603 (<b>see Figure 18.B.</b>).</p> <p><b>Trust proposes moving this item to “Resolved” following discussion on 10/24.</b></p>	
19. Crissy Youth Campus	Consider combining two new buildings into a single building to reduce scale and prominence on site	The new buildings will remain two separate structures in order to maintain a subordinate relationship to historic building 603.	See above.	“Trust will engage designer to study this issue (considering a single building instead of two) further, offer alternatives in order to resolve.” The SHPO agrees to continuing consultation on this item as proposed and as a condition for the Finding of No Adverse Effect.	Resolved	<b>See response to item 18 above.</b>	See item 18 above
20. Crissy Youth Campus	Current configuration when combined with the canopy and raised courtyard creates a “cloister” feeling that enhances the massing of the new construction	The new canopy feature has been broken into separate segments at 603 and the Lab building; the canopy has been reduced on the 603 elevation so that it's only oriented over the new entrances. [See Exhibit B]	See above and Item #2 above.	Resolved.	Resolved	Resolved	Resolved

21. Crissy Youth Campus	Revise colors and materials to be more compatible with the Mid Crissy Area design guidelines (e.g., red roofs, painted white horizontal siding)	The Presidio-sourced cypress siding will be reoriented to horizontal on all elevations; a whitewash finish is preferred as means to achieve compatibility while also allowing the new material to read (a material/finish sample will be provided at the follow up meeting); composition shingle roofs on the new buildings will be red or gray to match nearby historic Crissy Field buildings (Mason Street Warehouses). [See Exhibit C]	NPS states that whitewash finish is not sufficiently white, recommends a more opaque white finish. Roof shingle color (gray or red) unresolved. Horizontal siding appeared to be accepted without need for further discussion. Request confirmation.  Trust recommends a red roof and more opaque white finish to resolve this matter.	The SHPO recommends Presidio white, horizontal siding and red roofs for the new building(s) as a condition for the Finding of No Adverse Effect.	Red roofs and a more opaque white paint will resolve.	Trust commits to a more opaque white paint and red roofs for buildings 601 and 602.  <b>Trust proposes moving item to “Resolved” without further consultation based on information provided to date.</b>	Resolved: buildings will be red roof and Presidio white paint
22. Crissy Youth Campus	Revise fenestration pattern on new buildings to be more compatible with existing historic buildings on Crissy Field (e.g., 640, 643); Simplify fenestration patterns by increasing their uniformity on each elevation.	The windows on the two new buildings are oriented as a horizontal "ribbon" similar to nearby historic buildings; mullions introduced to recall a more traditional fenestration pattern. [See Exhibit D]	Suggestion offered by SHPO to increase definition for north and west facing windows to more closely resemble the full-frame wood windows on the Mason Street Warehouses.  Trust will engage designer to study this issue further, offer alternatives to resolve.	Items 22 and 23: Fenestration design for the new buildings is responsive to previous comments in the change to horizontal windows rather than vertical. In the September 15 meeting, the Trust proposed using the full-frame wood windows in the Mason Street Warehouses as a design precedent, and to engage the designer “to study this issue further, offer alternatives in order to resolve.”  o The SHPO agrees to continuing consultation on specific details and articulation of the new building(s) as a condition for the Finding of No Adverse Effect.	Awaiting redesign, but likely to resolve.	Windows on the north and west elevations of the Field Station (Building 601) will reference the scale of window openings on adjacent building 603, and arranged in a fenestration pattern that recalls other nearby Crissy Field buildings (640, Mason Street Warehouses). As shown in the freehand sketch provided in July, the windows on the north and west elevations of Building 601 will be approximately 5’ high by 3’ wide. These windows are oriented as a horizontal "ribbon" similar to nearby historic buildings. Mullions will recall a more traditional fenestration pattern and be extruded aluminum in a standard (rectangular) profile. These windows will have insulating (double-paned) low “e”, bird-safe glass. Glazing color to be as clear as possible while still meeting Title 24 requirements.	Conceptually resolved; verification with detailed drawings needed at CD  SHPO requested adding a fascia on west elevation of recessed entry to 601.

						<p>Programmatically, the intention is for the Field Station to house exhibits that directly relate to the site that surrounds it. These windows will be located directly above a work counter and will serve as the primary observation point to the bay and other surroundings.</p> <p><b>Trust proposes moving item to “Resolved” without further consultation based on information provided to date.</b></p>	
23. Crissy Youth Campus	Use long horizontal bands of windows on all elevations rather than the vertically oriented windows on the north elevation of 601, as currently shown	The vertical window on the north elevation of 601 (Field Station) has been reoriented horizontally so that it aligns with windows on the other elevations in order to form a "ribbon" of windows similar to the historic warehouse buildings on Crissy Field; entry "totem" feature that appeared in earlier renderings will be moved outside the roofline and redesigned to improve compatibility with the building cluster. [See Exhibit D]	See above.	See above.	Resolved with removal of the "totem" feature from both building and landscape.	<b>See response to item 22 above.</b>	
24. Learning Landscape	Reduce the height of the berm along south edge of Mason in order to avoid creation of a landscaped “wall”; more compatible elements on the interior of the Learning Landscape reduces the need for screening from the outside	The berm along Mason Street has been reduced by 1-2', while maintaining the site storm drainage and necessary land use control/archaeology cap. [See Exhibit F]	Trust will engage designer to study this issue further, offer alternatives in order to resolve.	<p>Item 24: Regarding the proposed berm along Mason Street, the Trust proposed to engage the designer “to study this issue further, offer alternatives in order to resolve.”</p> <p>o The SHPO agrees to continuing consultation on this item as proposed and as a</p>	Conditionally resolved, awaiting design revision. One of the remaining character defining features of the area on the south side of Mason Street is the relatively flat openness north of the bluff and out toward Crissy Field and Crissy Marsh. The Mid Crissy Field Design Guidelines state the following:	<b>Figure 24.A</b> responds to the request for long sections through the site with scale references to illustrate how the topography of the Learning Landscape (LL) changes between Mason Street and the toe of the bluff. Figure 24.A also illustrates how the berm between Mason and the LL is not continuous, and that there are numerous low points between the berms	Conceptually resolved with proposed modifications; verification with detailed drawings at CD

				<p>condition for the Finding of No Adverse Effect.</p>	<ul style="list-style-type: none"><li>•Enhance Mason Street's open streetscape and improve views by maintaining a built setback of at least 70 feet from the south edge of Mason.(p.27)</li><li>•Develop a landscape design and approach for the Mid-Crissy area that is compatible with the historic, simple, "open", utilitarian character of the area, and consistent with the Vegetation Management Plan designation of the area as "designed landscape zone." (p.27)</li></ul> <p>The newly proposed cap for the Land Use Control elevates the finished grade on the south side of Mason Street three feet higher than the finished grade of the roadway, which diminishes the openness to some degree; however, the cap also protects AR-30, a contributor to the National Historic Landmark District. The diminished openness of Mason Street adjacent to the Learning Landscape is exacerbated by the proposed additional earthen berm on top of the cap, which raises the adjacent finished grade another twelve to eighteen inches, for a height of four to four and one half feet plus the proposed tall grasses and trees.</p> <p>We suggest reducing the berm as much as possible and exploring reducing the height, or density, of the grasses on top of the berm or some other approach so that the edge does not read as a vegetated wall. The other undulations and forms will not likely read as faux geomorphic in reality as they do in plan.</p>	<p>that allow for visibility into the LL from Mason. Note: the elevation points diagram do not reflect reduced heights agreed to in July and October (see below for a description of reductions).</p> <p>In the July 2017 package the Trust agreed to lower the berms 1-2' from what is shown in the 100% DD set. <b>Figure 24.B</b> illustrates high points in the non-continuous berm along Mason that will be lowered an additional 1-2' where feasible in order to reduce the visual prominence of the berms, while also maintaining the definition of the lower-elevation Play Pod areas.</p> <p><b>Figure 24.B</b> also shows proposed trees that will be eliminated along the south edge of Mason Street (leaving those that provide maximum shade for the activity areas). The intent of these changes is to improve visibility into the Learning Landscape from Mason and enhance the open character of the area.</p> <p><b>Trust proposes moving this item to “Resolved” following discussion on 10/24.</b></p>	
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					<p>The nature of structures in the Learning Landscape, amplified by the inadequacy of the Supplemental Design Guidelines in setting useful parameters for their insertion into the busy and highly visible Mason Street corridor also has the distinct potential for adverse effect to the feeling, setting, design, and materiality of the historic district. If the vague representations of play structures shown on Simulation 2 are to be taken literally, they are enormous-two or three times the size of the people walking by - and do not appear "subordinate to existing historic resources" as stated on page 61. The assurance that all new features would be subordinate to Building 603 simply does not allow for too many large features to be inserted into the area.</p>		
25. Learning Landscape	<p>Look for ways to make the landscape pods and play elements more Presidio-specific, grounded in this particular location in the Presidio; consolidate number of pods to enhance simplicity of the new landscape area</p>	<p>A study has been undertaken to incorporate Presidio-specific ecological and historic themes into play elements (see enclosed Exhibit E entitled <i>Learning Landscape: Ideas for Connecting Youth to Presidio History &amp; Ecology</i>); the study will inform the ongoing refinement of the interactive play and hands-on activity elements as design progresses; the overall number of pods has not been reduced as the design intent is for the experiences to be nestled into the low planted landforms.</p>	<p>Propose a 30-day review of a 50% CD set of play elements in the Learning Landscape once design-build process is underway as a conditional approval.</p>	<p>Items 25 and 26: Regarding the design of the Learning Landscape, the Trust proposes a 30-day review of 50% Construction Documents as a condition for the Finding of No Adverse Effect.</p> <p>o The SHPO agrees to continuing consultation on this item as proposed and as a condition for the Finding of No Adverse Effect.</p>	<p>Conditionally resolved. NPS feels that the proposed 30-day review of 50% Construction Documents is very late in the design process. NPS proposes engaging with designers earlier, in Design Development, and again at a later review.</p>	<p><b>Trust proposes to continue consultation on this item into the next phase of design.</b></p>	<p>Resolved as item for continued consultation</p>

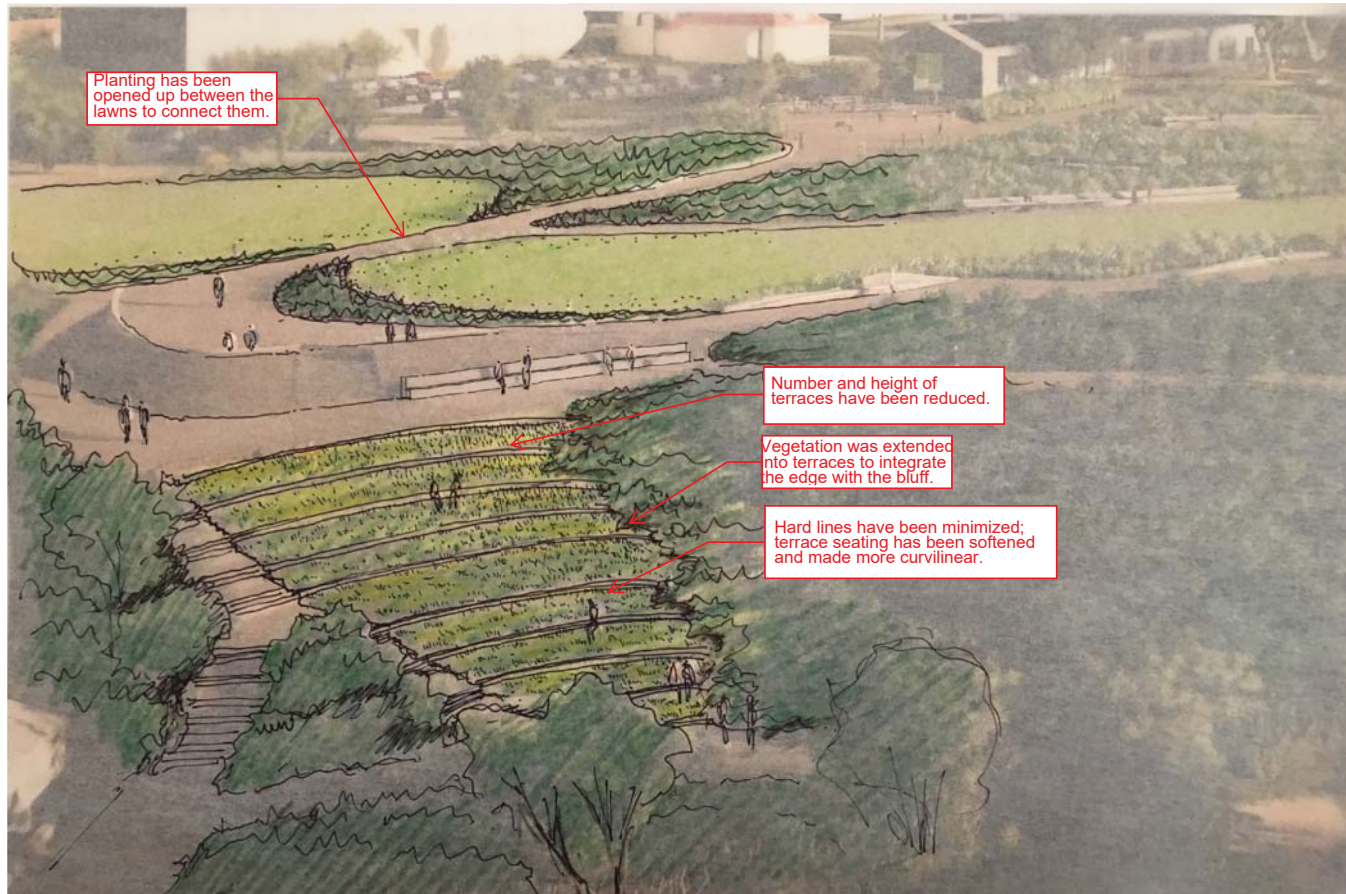
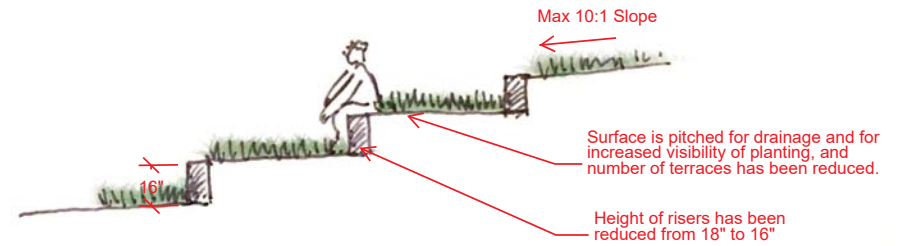


26. Learning Landscape	Refine the elements in the Learning Landscape to reduce the overall number, scale and prominence, ground them in the authentic characteristics of the site (e.g., fewer conventional play structures like slides, more educational features); Environmental Study Loop at Crystal Cove State Park offered as an example	A study has been undertaken to incorporate Presidio-specific ecological and historic themes into interactive play and hands-on activity elements (see enclosed Exhibit E entitled <i>Learning Landscape: Ideas for Connecting Youth to Presidio History &amp; Ecology</i> ); the study will inform the ongoing refinement of the play elements as design progresses.	See above.	See above.	(Same as Above) Conditionally resolved. NPS feels that the proposed 30-day review of 50% Construction Documents is very late in the design process. NPS proposes engaging with designers earlier, in Design Development, and again at a later review.	<b>See response to item 25 above.</b>	Resolved as item for continued consultation
27. Cumulative Effects	Additional information and/or continued consultation is needed if concurrence on a finding of no adverse effect is to be reached	The enclosed design studies represent the team's best effort to respond to May 24 comments given the level of existing design and amount of consultation undertaken to date.	Conditional concurrence was offered by the SHPO as an acceptable outcome, pending discussion of this proposal. NPS also indicated support for this approach.	<p>The SHPO remains concerned about the gradual degradation of the NHLD that could be caused by undertakings and proposed designs that are not compatible with the historic types of the military landscape and the distinctive uses within specific areas of the NHLD.</p> <ul style="list-style-type: none"> <li>• If the design issues and conditions listed above can be resolved through consensus agreement, the SHPO can concur with the proposed Finding of No Adverse Effect.</li> </ul>	The cumulative effect analysis needs more depth. For instance, there is no acknowledgement that the rehabilitation of the Mason Street Warehouses (Buildings 1182-1188) is an adverse effect; no consideration is given to the effect of removing the Commissary building entirely; no consideration on the effect of the Presidio Parkway project on the former Post Headquarters (Building 220); and the redesign of Halleck Street and associated move of historic Building 201 was not taken into account.	<p>The Trust responded to this comment in its March 15, 2016 response to comments after it appeared in the NPS letter of January 19, 2016. The NPS did not acknowledge the Trust's response; the Trust maintains that the information described as missing is in fact in the Preliminary FOE, and that its cumulative effect analysis is adequate.</p> <p><b>Trust proposes moving item to "Resolved" without further consultation based on information provided to date.</b></p>	Conceptually resolved per NPS email from 10/30. Confirmation through satisfaction of the conditions identified in conditional no adverse effect letter.
28. Cumulative Effects	An agreement document or conditional determination could create a path forward for consultation, pending further discussion on the part of all parties	Pending further discussion	See above.	See above.	NPS supports this possible outcome.	<b>The Trust will draft a letter to capture concurrence on the determination and conditions for NPS and SHPO review, should sufficient resolution on the preceding items be achieved.</b>	Trust will capture resolved items in a letter that proposes process for continued consultation, including timelines and processes for how to proceed if parties do not agree



## Exhibit B: Terraced Seating

**Comment #21 and #22**





Tread lengths have  
been varied to  
achieve irregular  
edge and blend  
into bluff.

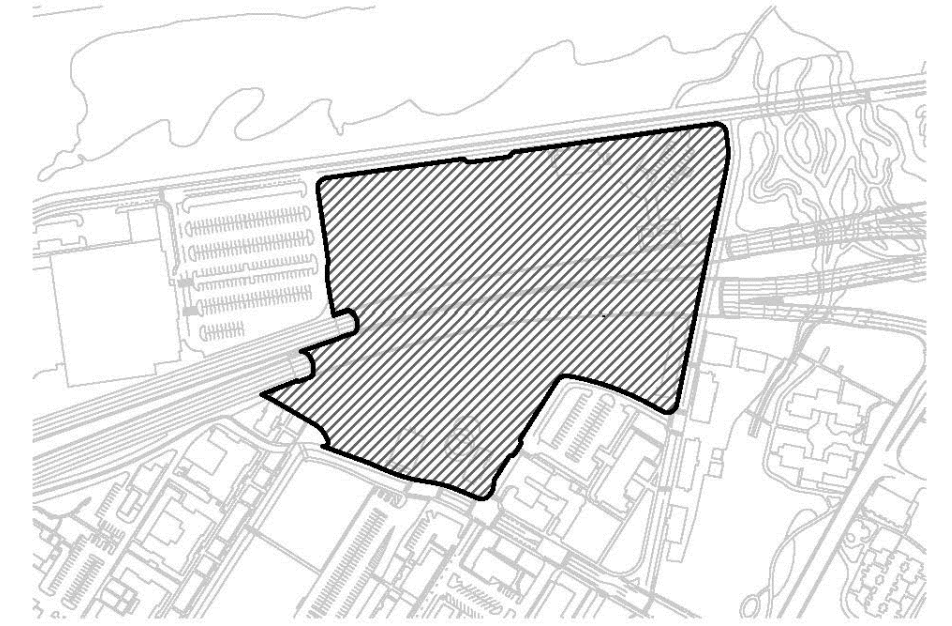
27'-29' (+/-)

18'-20' (+/-)

6'-8' (+/-)

69'-71' (+/-)





NO.	DATE	DESCRIPTION	BY
1	02/12/2016	90% SCHEMATIC DESIGN	JCFO
2	3/11/2016	100% SCHEMATIC DESIGN	JCFO
3	11/18/2016	50% DESIGN DEVELOPMENT	JCFO
4	02/17/2017	100% DESIGN DEVELOPMENT	JCFO

FOR REVIEW & FILING  
NOT FOR CONSTRUCTION

LANDSCAPE ARCHITECT :  
**James Corner Field Operations**  
475 Tenth Ave, 9th Floor New York, NY 10018

CONSULTANT TEAM :  
**Magnusson Klemencic Associates** 1301 5th Ave #3200, Seattle, WA 98101  
**EHDD** 500 Treat Avenue #201, San Francisco, CA 94110  
**Fluidity Design Consultants** 3780 Wilshire Blvd Suite 230, Los Angeles, CA 90010  
**PAE** 425 California Street Suite 1200, San Francisco, CA 94104  
**Holmes Structures** 235 Montgomery Street Suite 1250, San Francisco, CA 94104  
**Wallace Laboratories** 365 Coral Cir, El Segundo, CA 90245  
**DD Pagano, Inc.** 4705 E Chapman Ave # 1, Orange, CA 92669  
**Pentagram Design** 204 5th Ave, New York, NY 10010  
**Horton Lees Brogden** 8580 Washington Blvd, Culver City, CA 90232  
**Charles M. Salter Associates Inc.** 130 Sutter Street, Suite 500, San Francisco, CA 94104  
CLIENT :  
**Presidio Trust**  
103 Montgomery Street, San Francisco, CA 94129

PROJECT NAME

## PRESIDIO TUNNEL TOPS

DESCRIPTION: 100% DESIGN DEVELOPMENT

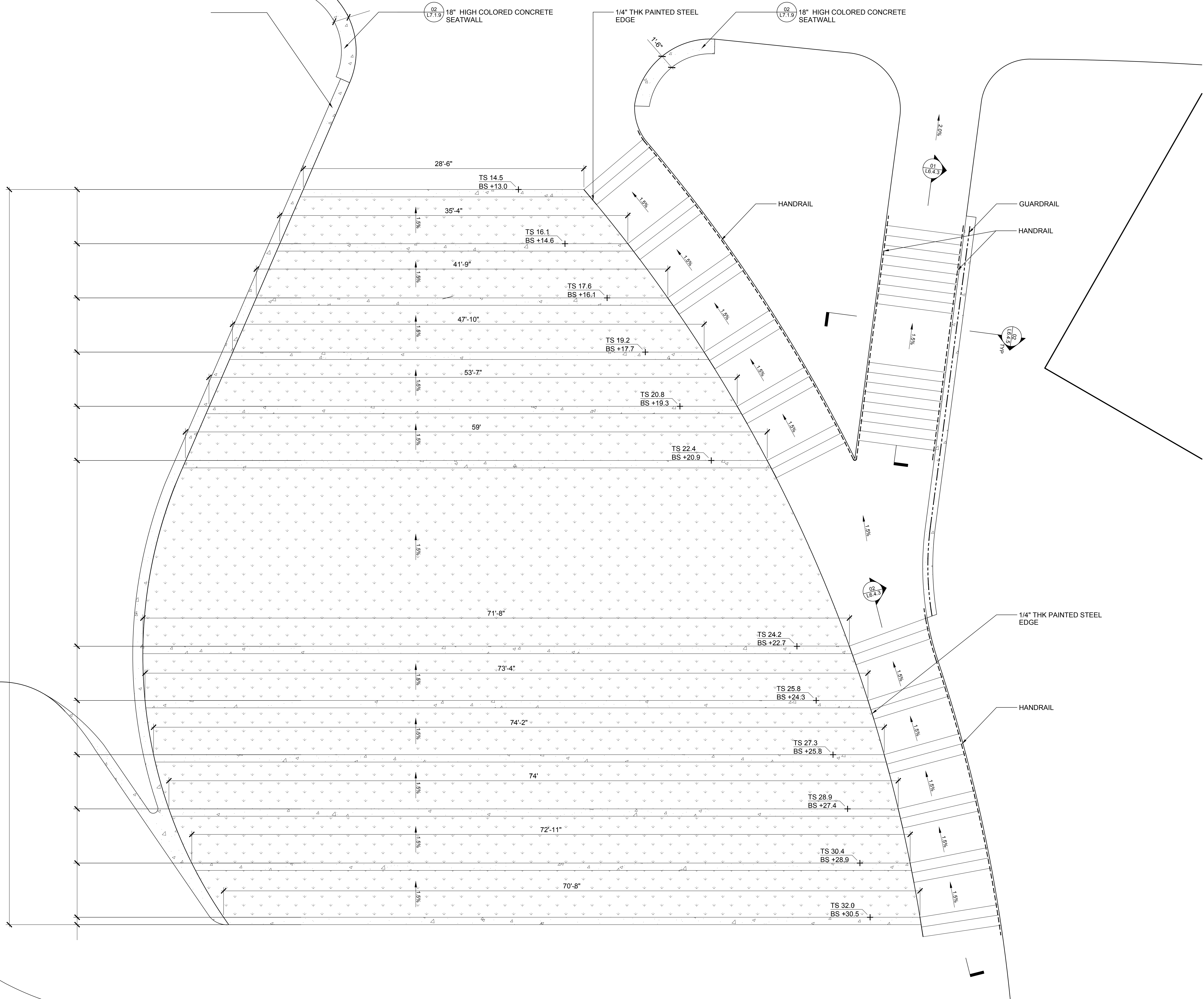
DRAWN: TB CHECKED: RK,MG

DATE: 02.17.2017 SCALE: AS NOTED

DRAWING TITLE: VIEWING TERRACE DETAILS

DRAWING NO. L-6.4.1

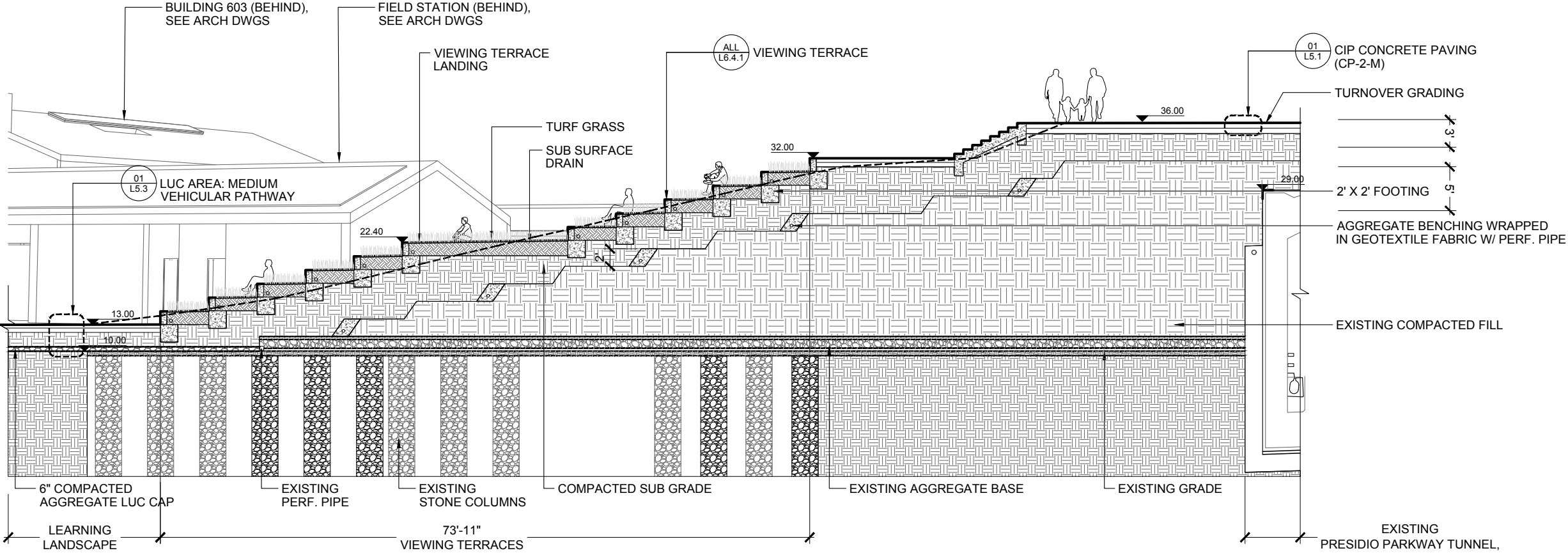
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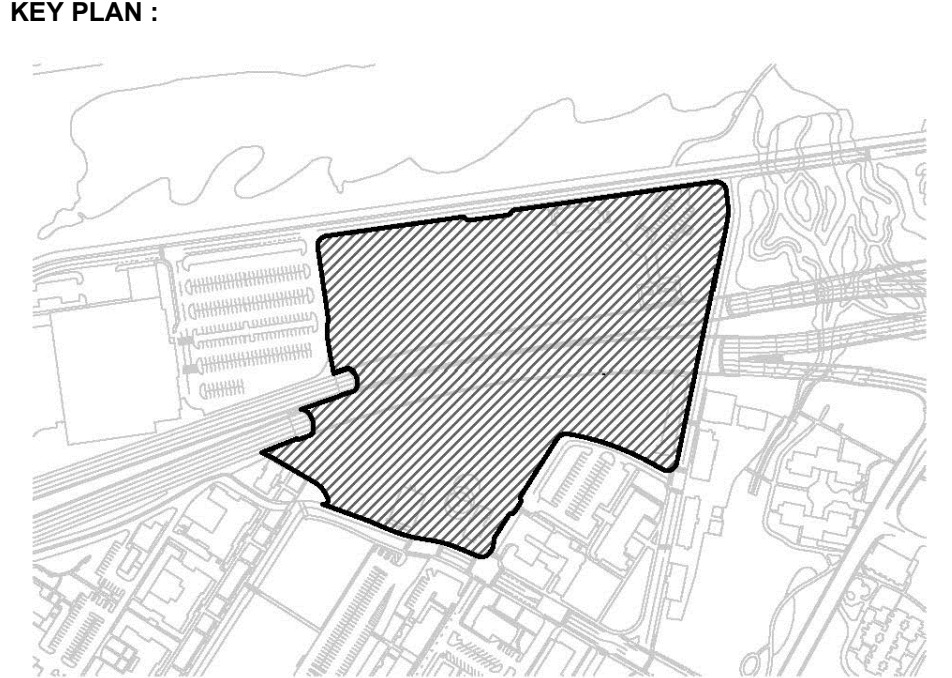
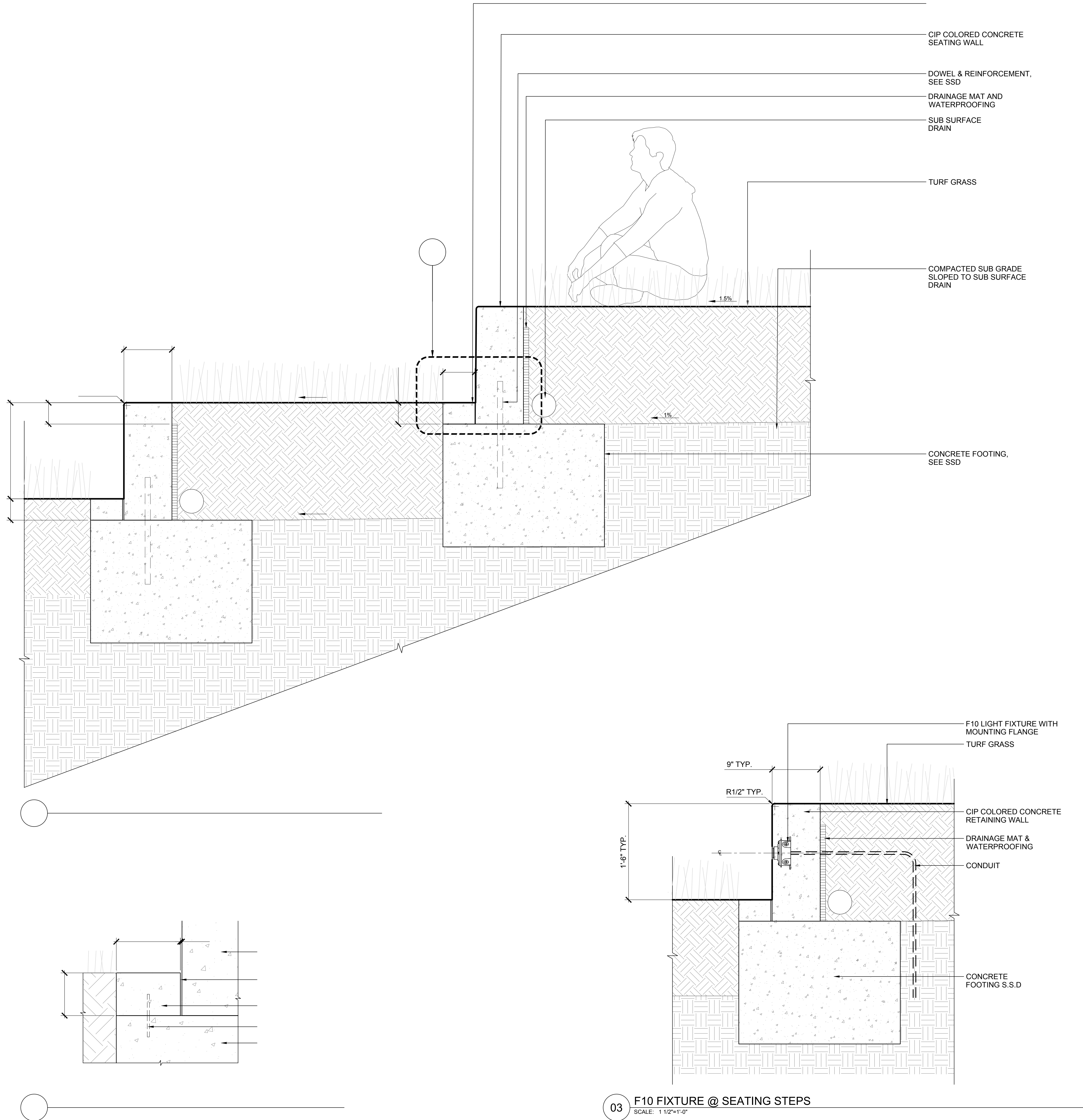
# PRESIDIO TUNNEL TOPS

## SITE SECTIONS



NOTE:  
SECTIONS ARE SHOWN FOR GRADING PURPOSES  
ONLY. FOR FURTHER DETAIL ON SUB GRADE  
REFER TO CIVIL SECTIONS

03 VIEWING TERRACES SECTION  
SCALE: 1" = 8' - 0"



NOTES:

LEGEND :  
EXTENTS OF WORKS

STAMP :

REVISION :			
NO.	DATE	DESCRIPTION	BY
1	02/12/2016	90% SCHEMATIC DESIGN	JCFO
2	3/11/2016	100% SCHEMATIC DESIGN	JCFO
3	11/18/2016	50% DESIGN DEVELOPMENT	JCFO
4	02/17/2017	100% DESIGN DEVELOPMENT	JCFO

FOR REVIEW & FILING  
NOT FOR CONSTRUCTION

LANDSCAPE ARCHITECT :  
**James Corner Field Operations**  
475 Tenth Ave, 9th Floor New York, NY 10018

CONSULTANT TEAM :  
**Magnusson Klemencic Associates** 1301 5th Ave #3200, Seattle, WA 98101  
**EHDD** 500 Treat Avenue #201, San Francisco, CA 94110  
**Fluidity Design Consultants** 3780 Wilshire Blvd Suite 230, Los Angeles, CA 90010  
**PAE** 425 California Street Suite 1200, San Francisco, CA 94104  
**Holmes Structures** 235 Montgomery Street Suite 1250, San Francisco, CA 94104  
**Wallace Laboratories** 365 Coral Cir, El Segundo, CA 90245  
**DD Pagano, Inc.** 4705 E Chapman Ave # 1, Orange, CA 92669  
**Pentagram Design** 204 5th Ave, New York, NY 10010  
**Horton Lees Brogden** 8580 Washington Blvd, Culver City, CA 90232  
**Charles M. Salter Associates Inc.** 130 Sutter Street, Suite 500, San Francisco, CA 94104  
CLIENT :  
**Presidio Trust**  
103 Montgomery Street, San Francisco, CA 94129

PROJECT NAME  
**PRESIDIO TUNNEL TOPS**

DESCRIPTION: **100% DESIGN DEVELOPMENT**

DRAWN: **TB** CHECKED: **RK, MG**

DATE: **02.17.2017** SCALE: **AS NOTED**

DRAWING TITLE: **VIEWING TERRACE DETAILS**

DRAWING NO.  
**L-6.4.2**

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NOTES :

LEGEND :

EXTENTS OF WORKS

STAMP :

REVISION :

NO.	DATE	DESCRIPTION	BY
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2	3/11/2016	100% SCHEMATIC DESIGN	JCFO
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CLIENT :  
**Presidio Trust**  
103 Montgomery Street, San Francisco, CA 94129

PROJECT NAME

## PRESIDIO TUNNEL TOPS

DESCRIPTION: 100% DESIGN DEVELOPMENT

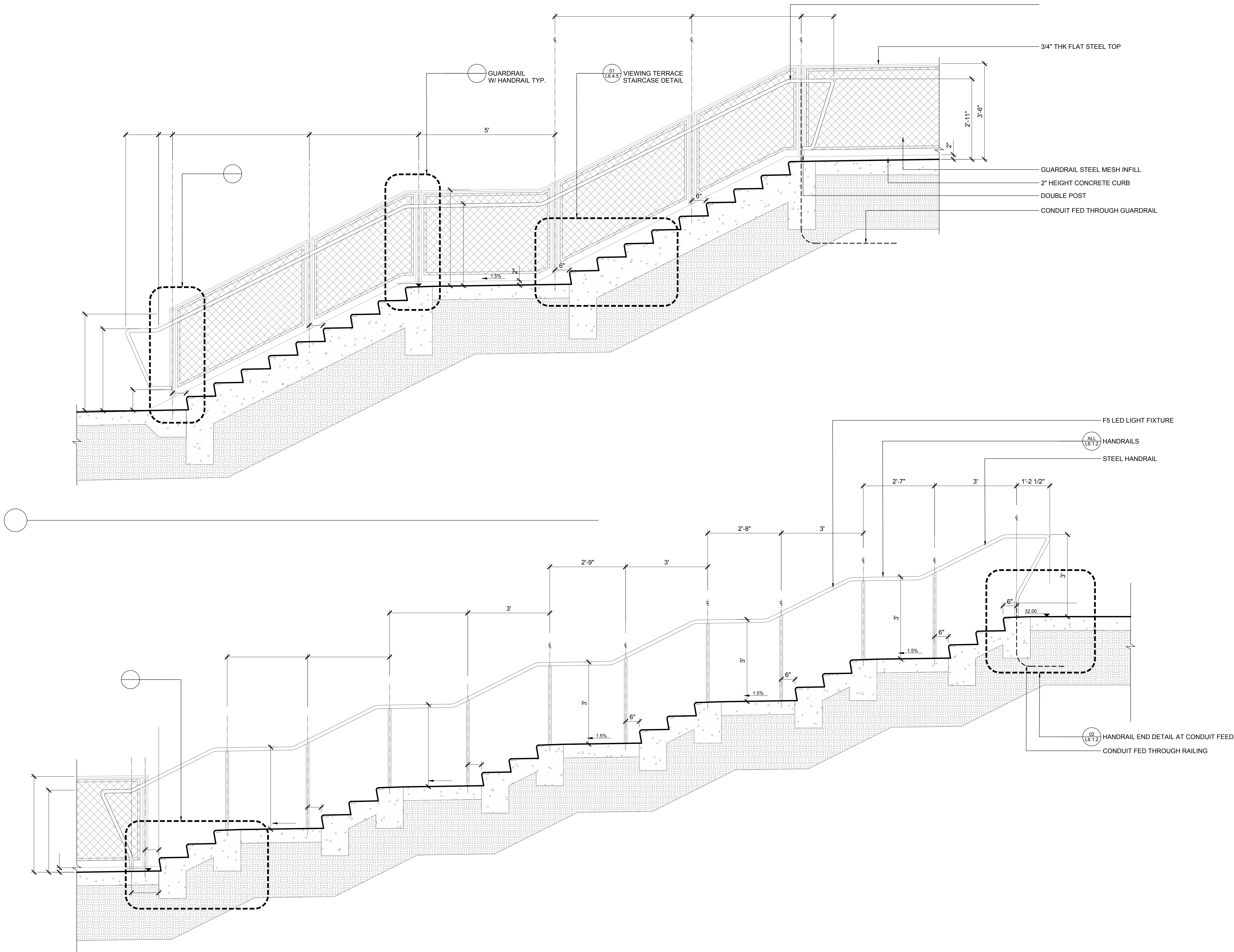
DRAWN: MG CHECKED: RK,MG

DATE: 02.17.2017 SCALE: AS NOTED

DRAWING TITLE: VIEWING TERRACE DETAILS

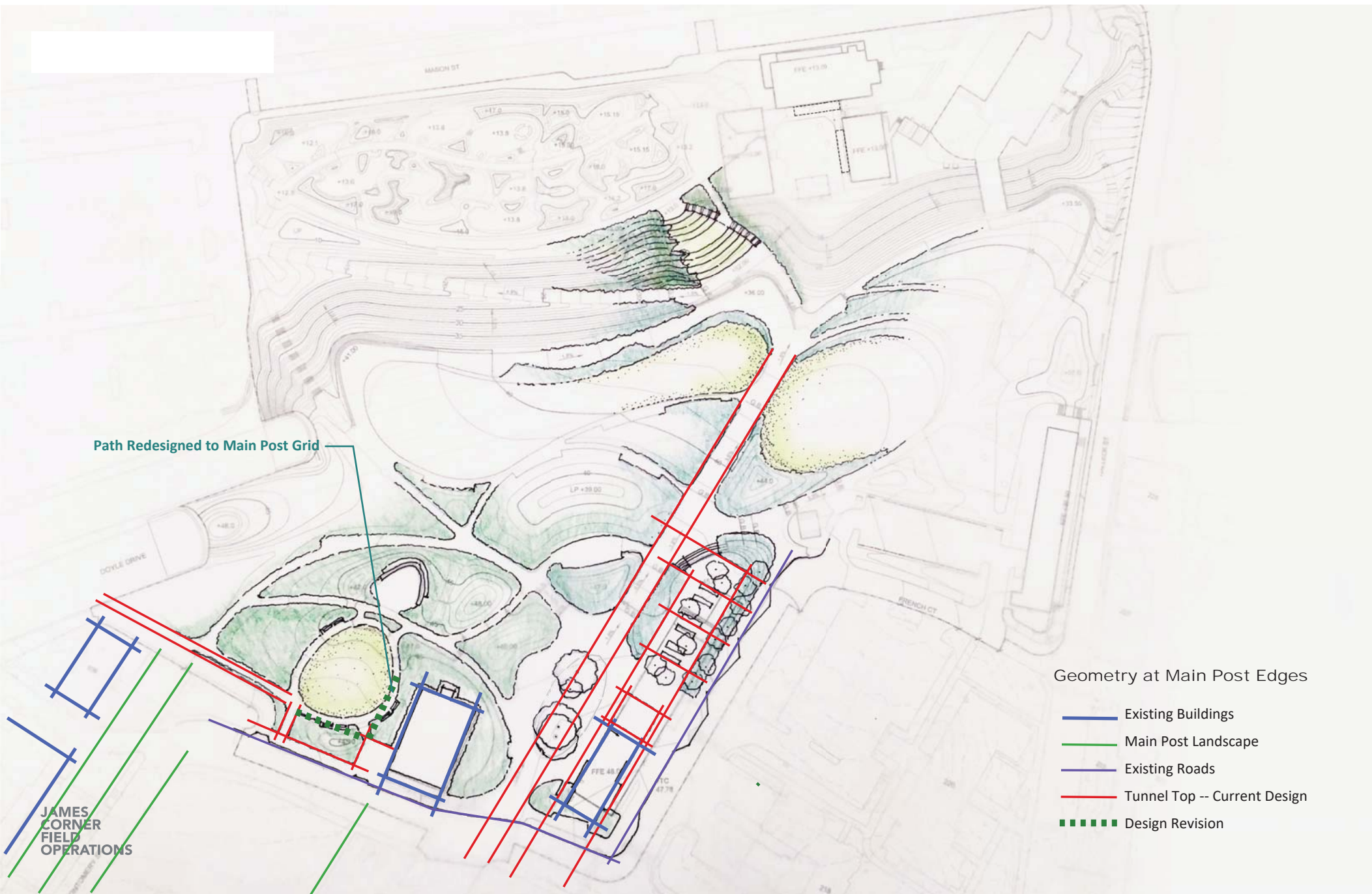
DRAWING NO. L-6.4.3

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## Exhibit C: Transitional Landscape at Western Hollow



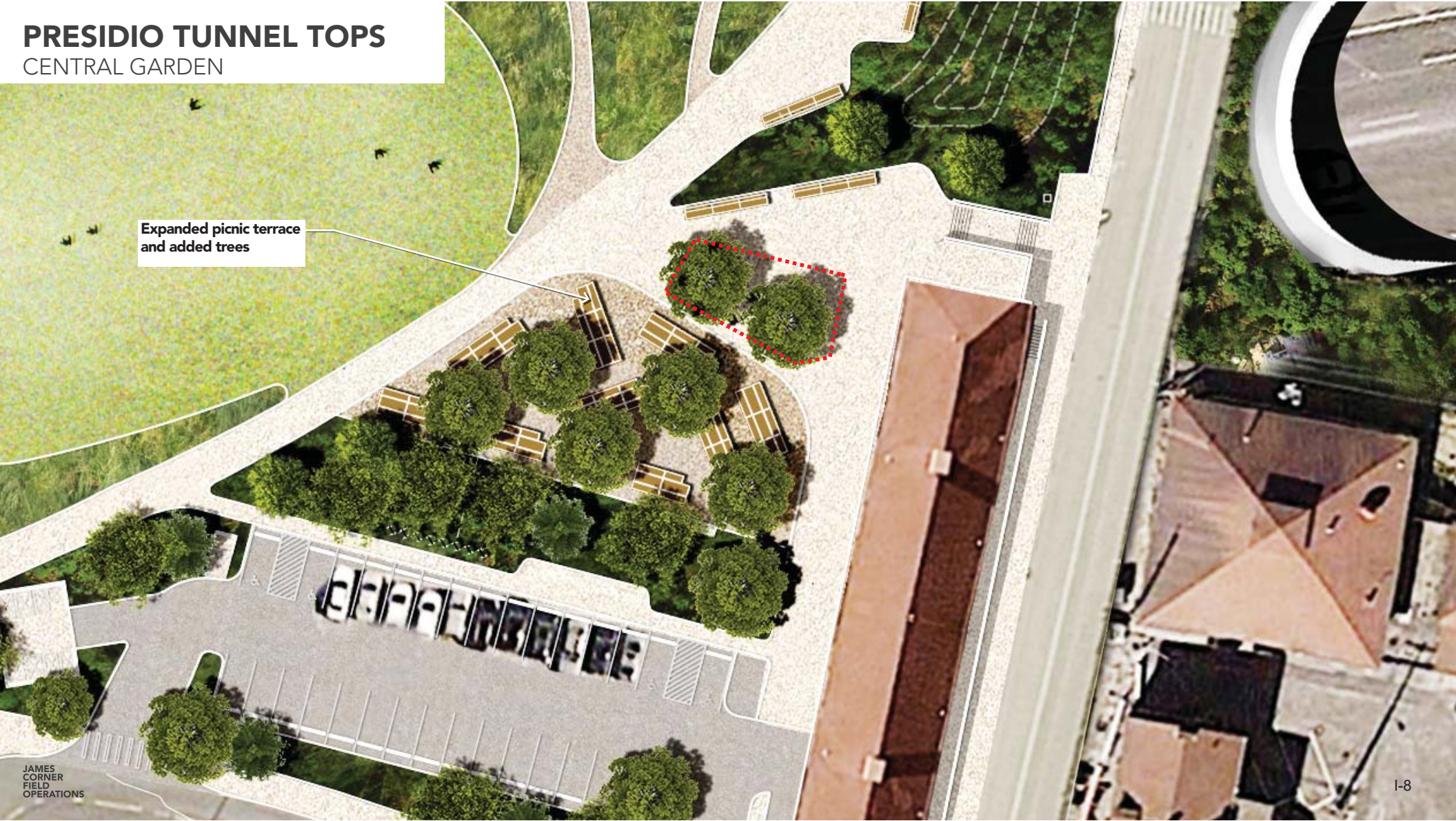


## Exhibit D: Pavement Modifications West of Building 201



**PRESIDIO TUNNEL TOPS**  
CENTRAL GARDEN

Expanded picnic terrace  
and added trees



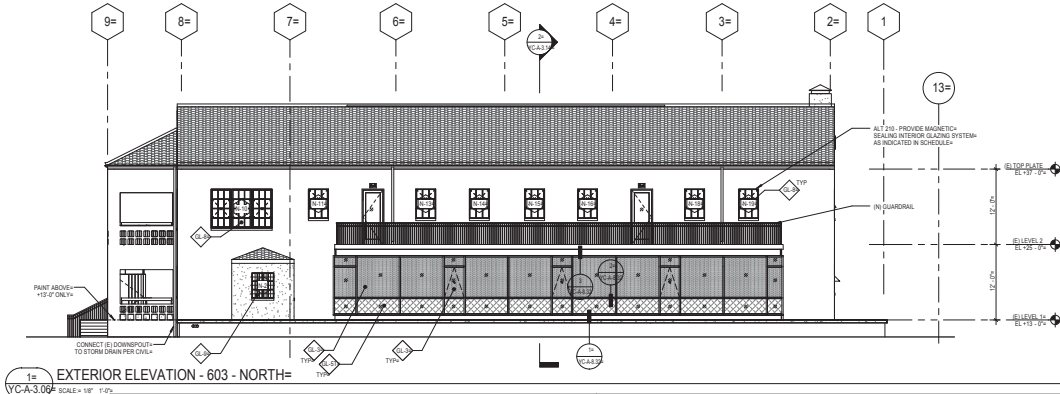
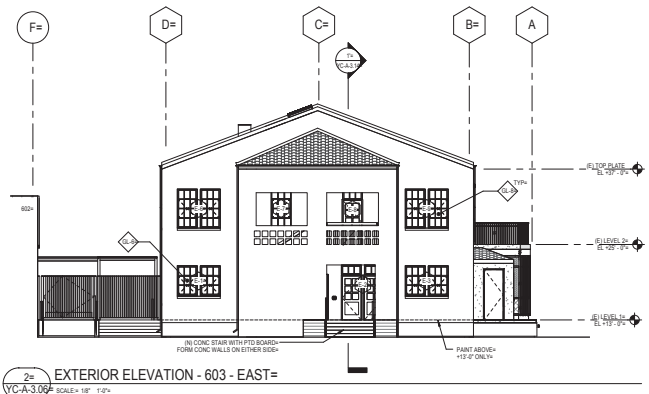
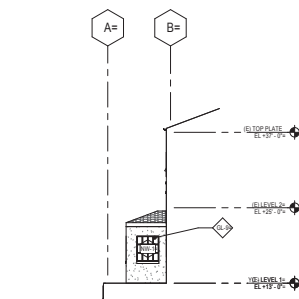
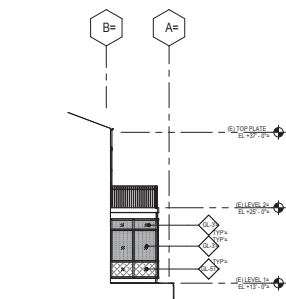
## Exhibit E: Building 603 Annex Glazing





BUILDING 603 WINDOW AND DOOR SCHEDULE - EAST AND NORTH ELEVATIONS														
Level	Function (Interior or Exterior)	Mark	Type Mark	Width	Height	Material	Finish	Glazing Type	Operation	Head	Jamb	Sill	Storm Window	Comments
(E) LEVEL 1*	E-1*	E*	E*	6'-10"	6'-2 3/8"	STL*			HOPPER*				Yes*	NEW TO MATCH HISTORIC*
(E) LEVEL 1*	E-2*	J	E*	6'-10"	6'-2 3/8"	WD*			FIXED*				No*	
(E) LEVEL 1*	E-3*	E*	E*	6'-10"	6'-2 3/8"	STL*			HOPPER*				No*	
(E) LEVEL 2*	E-6*	F*	E*	6'-10"	6'-2 3/8"	STL*			PIVOT*				Yes*	
(E) LEVEL 2*	E-7*	D*	E*	3'-2"	6'-3/8"	STL*			PIVOT*				Yes*	
(E) LEVEL 2*	E-8*	K*	E*	3'-2"	6'-3/8"	WD*			FIXED*				Yes*	
(E) LEVEL 2*	E-9*	F*	E*	6'-10"	6'-2 3/8"	STL*			PIVOT*				Yes*	
(E) LEVEL 1*	N-2*	L*	E*	3'-6"	4'-0"	WD*			FIXED*				Yes*	
(E) LEVEL 1*	N-5*	B*	E*	3'-2"	3'-5/8"	STL*			HOPPER*				No*	
(E) LEVEL 1*	N-6*	B*	E*	3'-2"	3'-5/8"	STL*			HOPPER*				No*	
(E) LEVEL 1*	N-9*	B*	E*	3'-2"	3'-5/8"	STL*			HOPPER*				No*	NEW TO MATCH HISTORIC*
(E) LEVEL 2*	N-10*	G*	E*	9'-0"	6'-3/8"	STL*			PIVOT*				Yes*	
(E) LEVEL 2*	N-11*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				Yes*	
(E) LEVEL 2*	N-13*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				No*	
(E) LEVEL 2*	N-14*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				No*	
(E) LEVEL 2*	N-15*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				No*	
(E) LEVEL 2*	N-16*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				No*	
(E) LEVEL 2*	N-18*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				No*	
(E) LEVEL 2*	N-19*	C*	E*	3'-2"	4'-5"	STL*			PIVOT*				Yes*	
(E) LEVEL 1*	NW-1*	L*	E*	3'-6"	4'-0"	WD*			FIXED*				Yes*	

NOTE: PROVIDE MAGNETIC SEALING INTERIOR GLAZED STORM WINDOWS AS ALT 210  
EXCLUDE FROM BASE PROJECT



#### EXTERIOR ELEVATION = BUILDING SECTION SHEET NOTES=

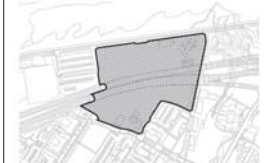
- 1= FOR GENERAL NOTES APPLICABLE TO ALL DRAWINGS REFER TO THE PROJECT GENERAL NOTES
- 2= REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL MEMBERS AND SLAB INFORMATION
- 3= SEE VC-G-0.30 DOOR TYPES AND SCHEDULE FOR DOOR INFORMATION
- 4= REFER TO VC-G-0.02 FOR LIST OF ALTERNATES

#### EXTERIOR ELEVATION = BUILDING SECTION LEGEND=

(B) BOARD FORMED CONCRETE	(E) CLAY TILE ROOF	(#) GLASS
(N) 6" WOOD SING - VERTICAL AND HORIZONTAL	(N) METAL PANEL ROOF	(N) BRO SAFE GLASS
(N) CONCRETE		(N) TRANSLUCENT GLASS
(N) BOARD FORMED CONCRETE - VERTICAL AND HORIZONTAL		(N) METAL MESH
		GLASS TYPE
		DOOR SCHEDULE TYPE



KEY PLAN



NOTES:

LEGEND =  
EXTENTS OF WORK

STAMP

REVISION	DATE	DESCRIPTION	BY
1	02/17/2017	100% SCHEMATIC DESIGN	JCF
2	02/17/2017	100% SCHEMATIC DESIGN	JCF
3	02/17/2017	90% DESIGN DEVELOPMENT	JCF
4	02/17/2017	100% DESIGN DEVELOPMENT	JCF

FOR REVIEW & FILING=  
NOT FOR CONSTRUCTION=

LANDSCAPE ARCHITECT =  
**James Corner Field Operations**  
475 Tenth Ave, 9th Floor New York, NY 10018

CONSULTANT TEAM =  
Magnuson Klemencic Associates 1001 6th Ave #200, Seattle, WA 98101  
BHD 160 Third Avenue #201, San Francisco, CA 94110  
Fluidity Design Consultants 3700 Wilshire Blvd Suite 220, Los Angeles, CA 90010  
PAB 425 California Street Suite 1000, San Francisco, CA 94104  
Holmes Structures 238 Montgomery Street Suite 1200, San Francisco, CA 94104  
Wallace Laboratories 365 Canal St, El Segundo, CA 90245  
DD Pagan, Inc 475 E Channel Ave #1, Orange, CA 92668  
Porter Design 204 3rd Ave, New York, NY 10016  
Horton Lees Brogden 6501 Washington Blvd., Culver City, CA 90230  
Charles M. Sailer Associates Inc 130 Butler Street, Suite 500, San Francisco, CA 94104

CLIENT =  
**Presidio Trust**  
103 Montgomery Street, San Francisco, CA 94129

PROJECT NAME=

**PRESIDIO TUNNEL TOPS=**

DESCRIPTION= 100% DESIGN DEVELOPMENT=

DRAWN=LR/RT= BHD JOB NO. 14028=

DATE= 02.17.2017= SCALE= 1/8" 1'-0"

DRAWING TITLE= EXTERIOR ELEVATIONS - 603=

DRAWING NO.= **YC-A-3.06=**

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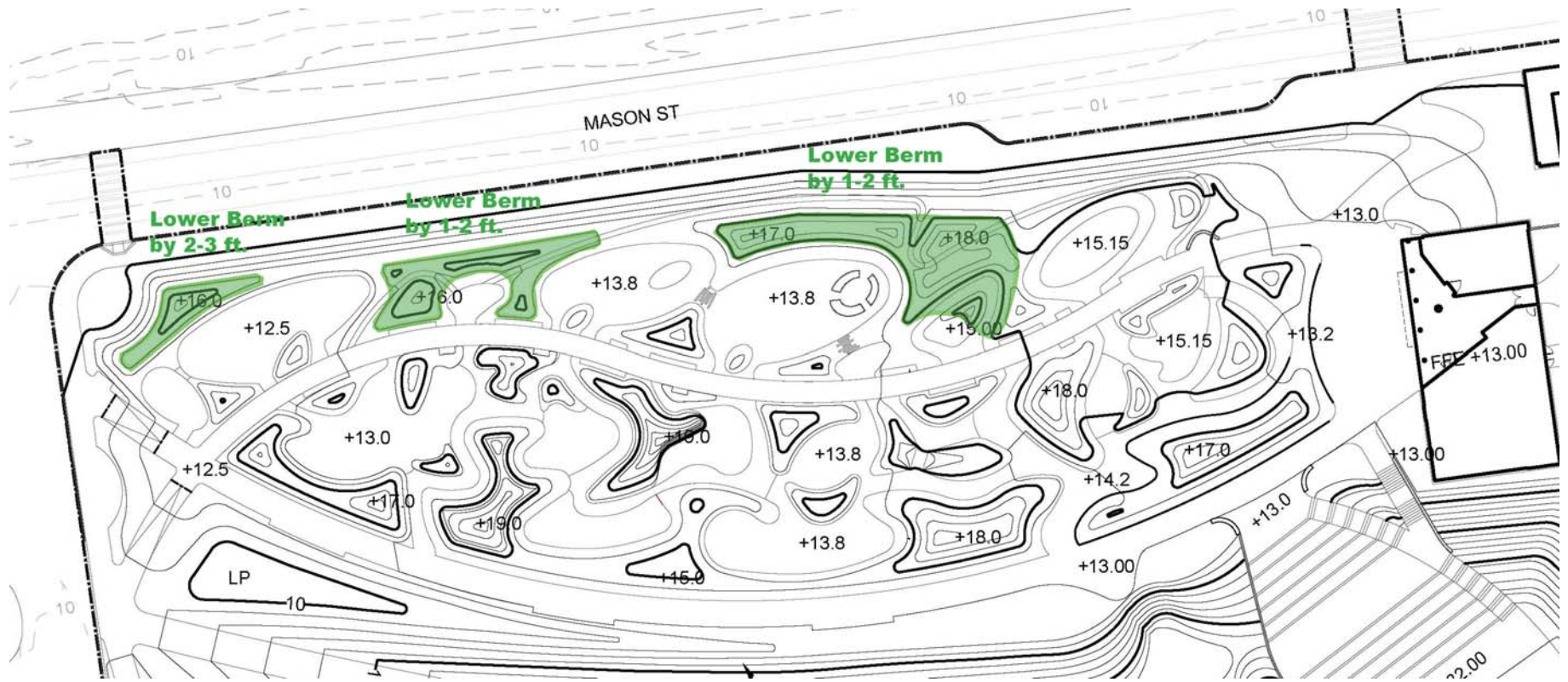
## Exhibit F: Building 601 Siding, Windows and Entry



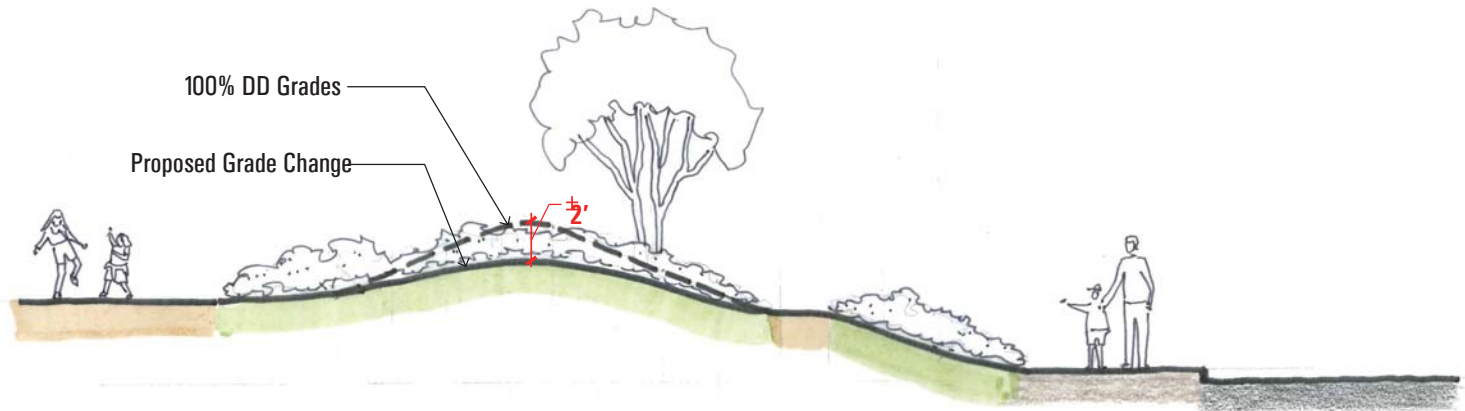
SK	CHANGES TO FENESTRATION
NTS	7.19.17



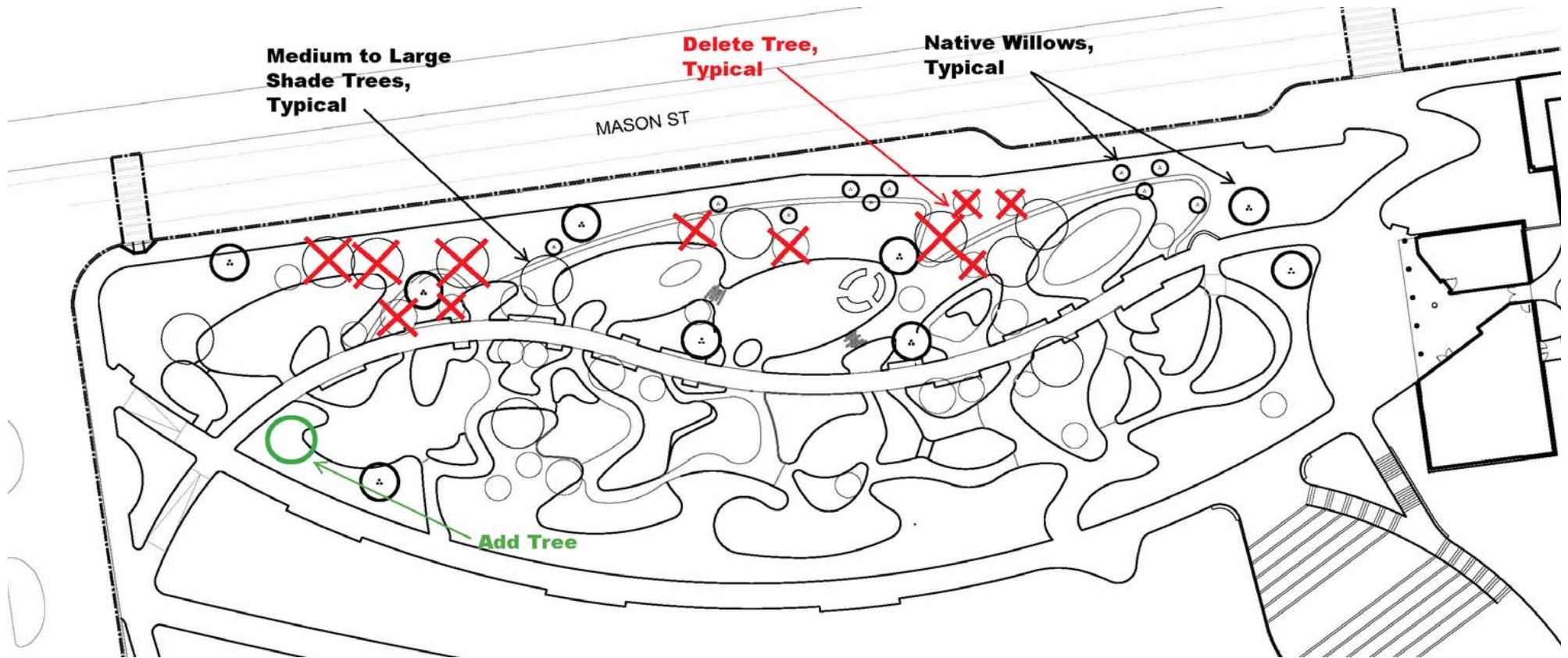
## Exhibit G: Learning Landscape Berm and Trees



**Learning Landscape Topography**



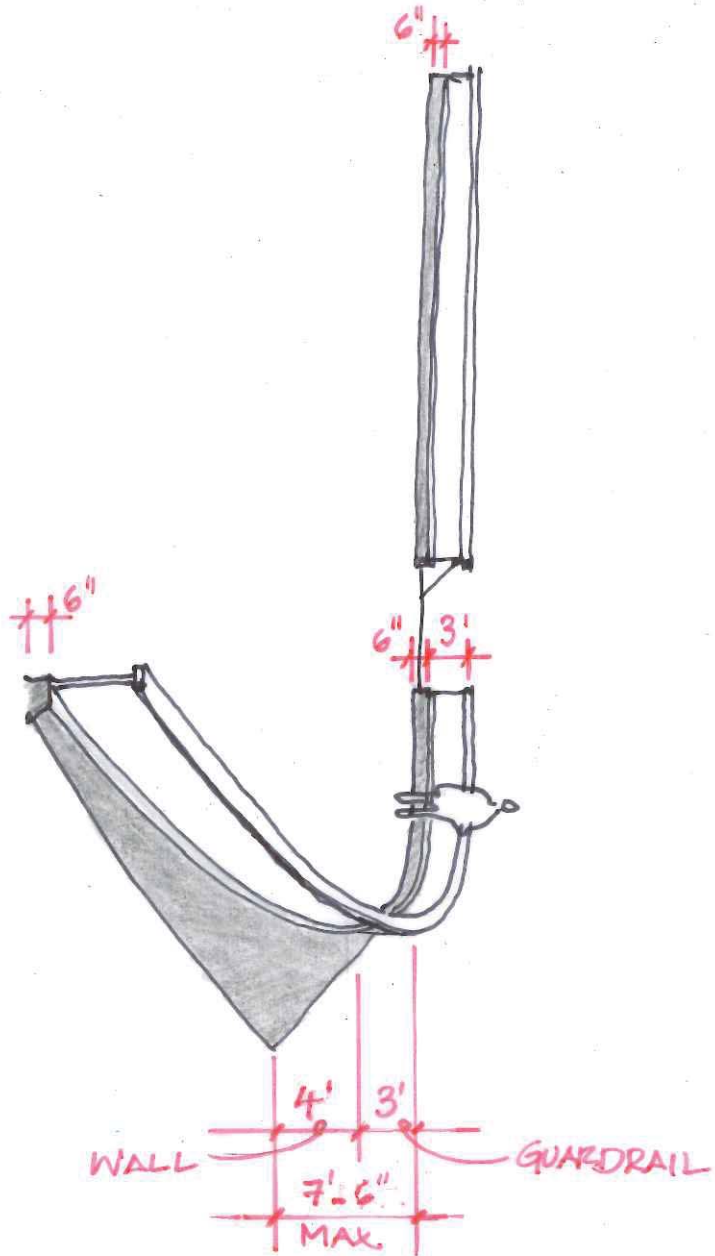
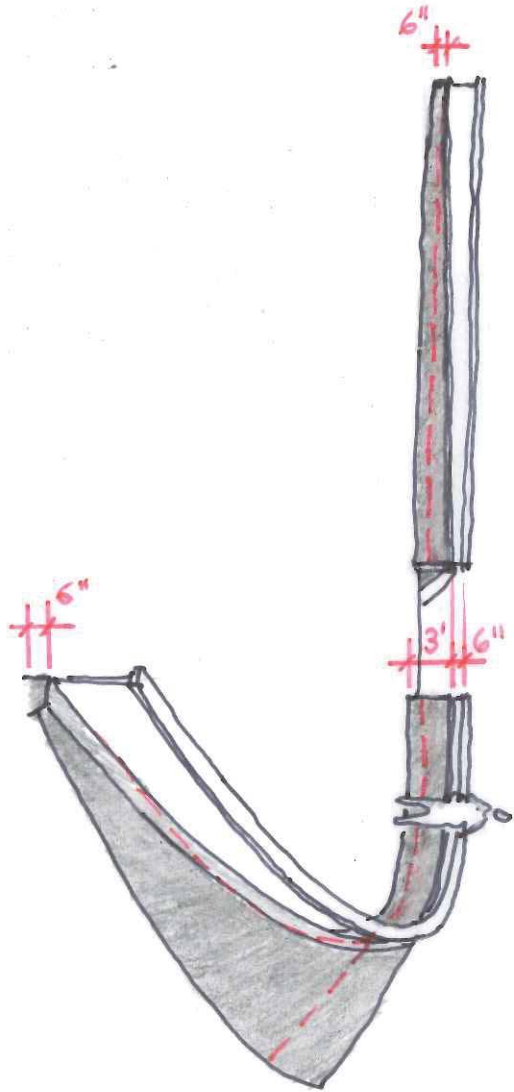
**Berm Section**



Trees & Tall Shrubs

## Exhibit H: Central Overlook

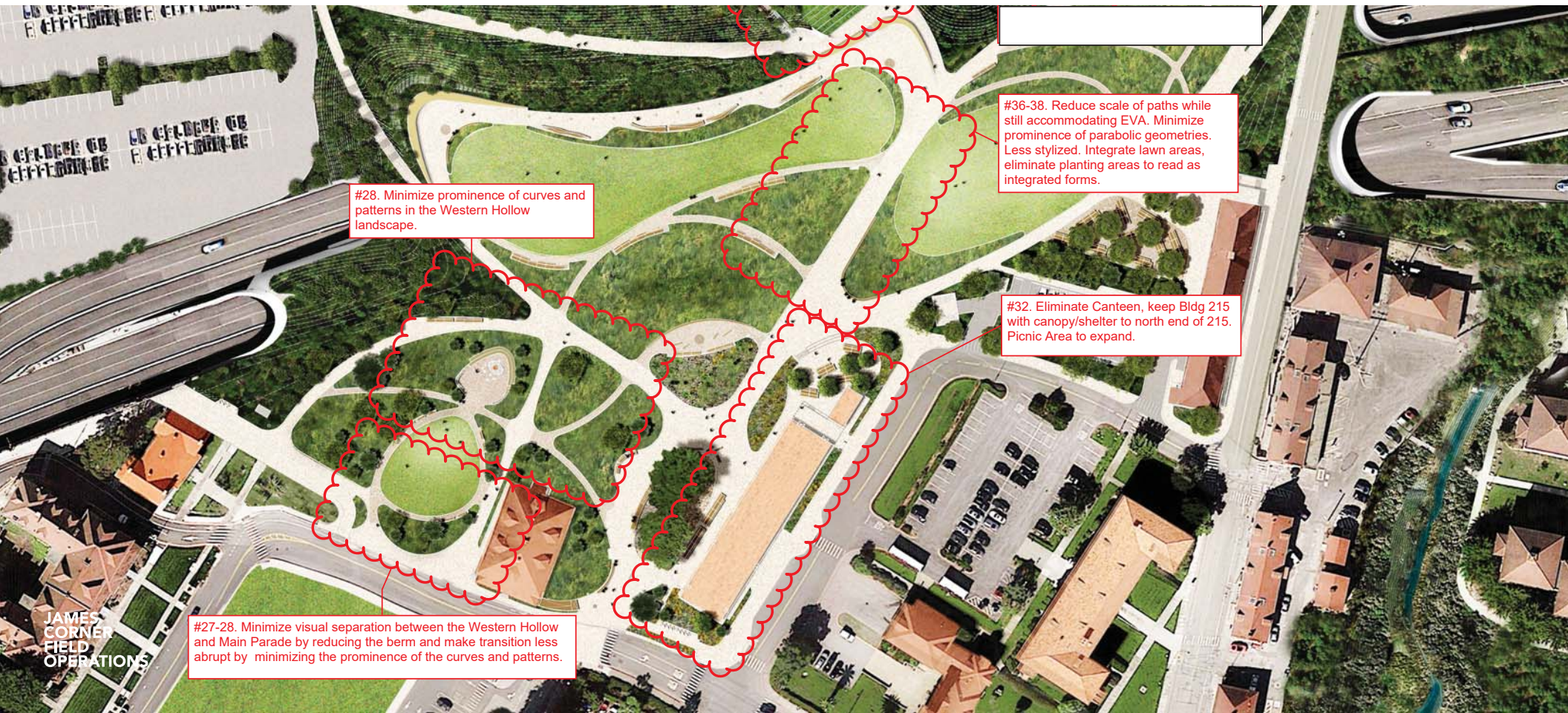
# CENTRAL OVERLOOK 100% DESIGN DEVELOPMENT



## CENTRAL OVERLOOK PROPOSED CHANGE

## Exhibit I: Path Modifications





#28. Minimize prominence of curves and patterns in the Western Hollow landscape.

#36-38. Reduce scale of paths while still accommodating EVA. Minimize prominence of parabolic geometries. Less stylized. Integrate lawn areas, eliminate planting areas to read as integrated forms.

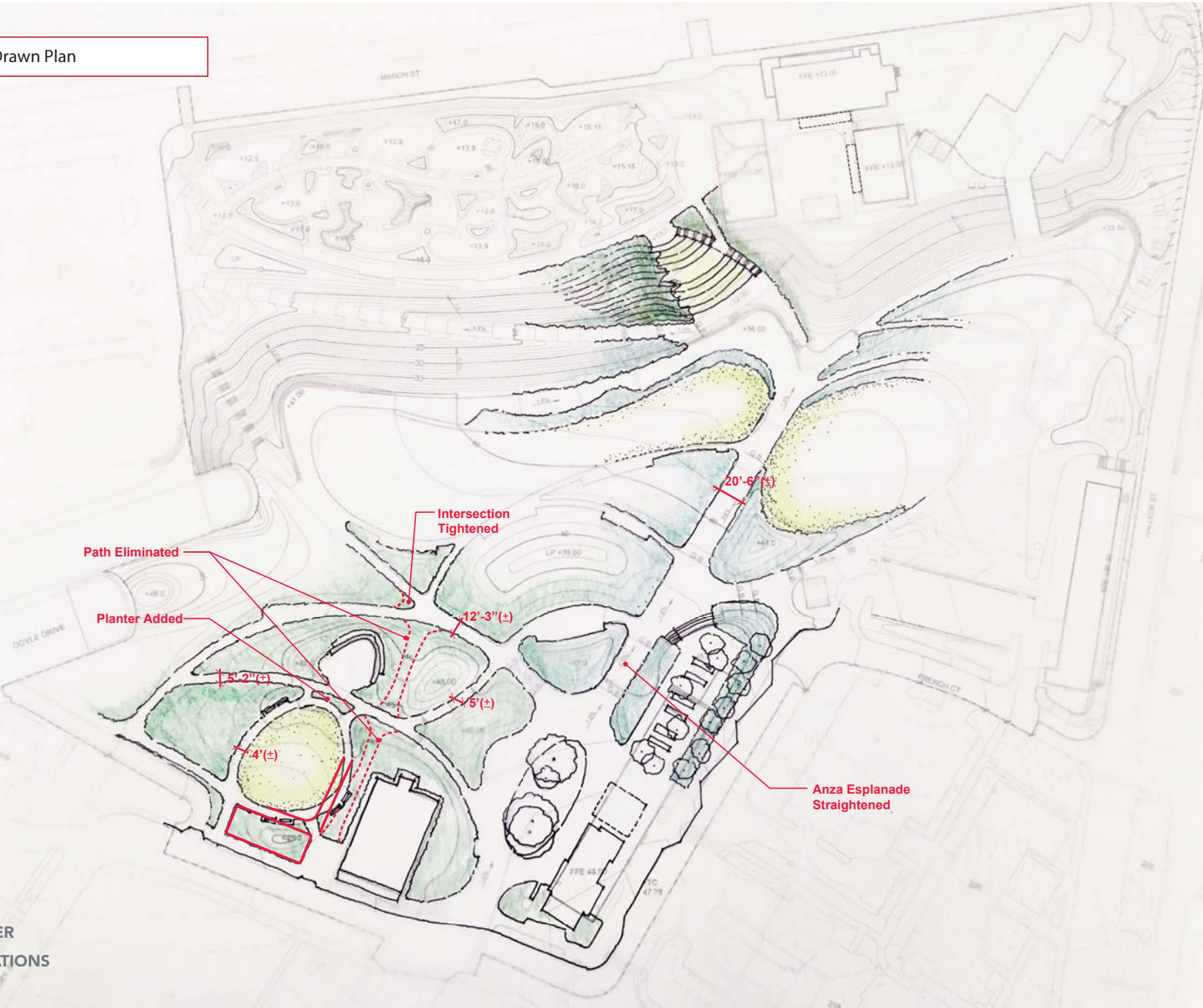
#32. Eliminate Canteen, keep Bldg 215 with canopy/shelter to north end of 215. Picnic Area to expand.

#27-28. Minimize visual separation between the Western Hollow and Main Parade by reducing the berm and make transition less abrupt by minimizing the prominence of the curves and patterns.

JAMES  
CORNER  
FIELD  
OPERATIONS



Hand-Drawn Plan

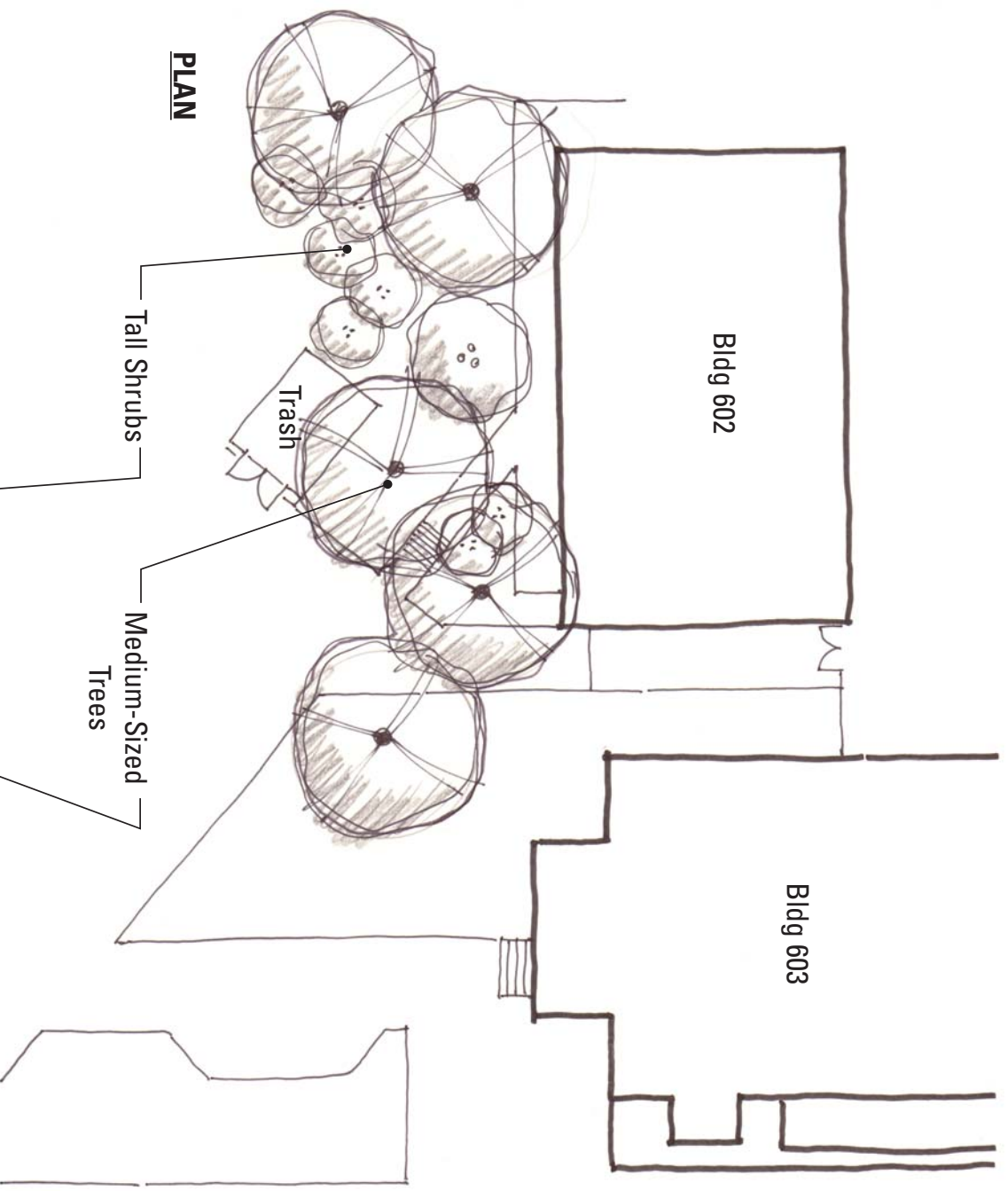




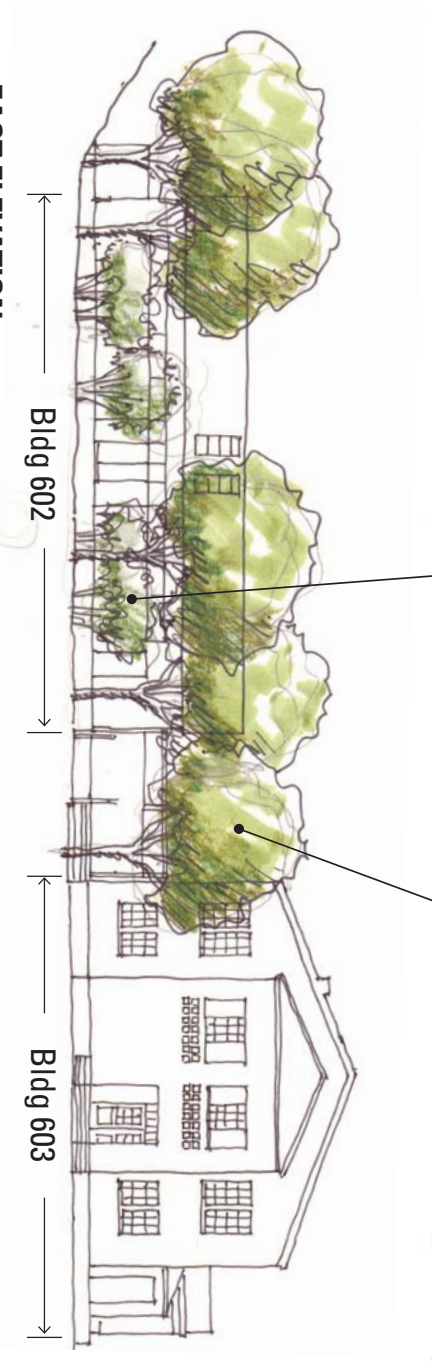
## Exhibit J: Crissy Youth Center Courtyard Canopy



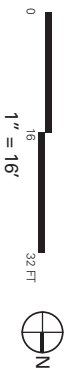
# Exhibit K



## PLAN



## EAST ELEVATION



# Appendix H

**AMENDED  
PROGRAMMATIC AGREEMENT  
AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,  
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,  
AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER  
REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN  
AND  
VARIOUS OPERATION AND MAINTENANCE ACTIVITIES  
FOR AREA B OF  
THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK  
DISTRICT,  
GOLDEN GATE NATIONAL RECREATION AREA  
SAN FRANCISCO, CALIFORNIA**

**WHEREAS**, the Agreement was executed in April 2014; and

**WHEREAS**, staffing changes at the Trust have triggered updates to positions defined under its administrative stipulations; and

**NOW, THEREFORE**, in accordance with Stipulation X. of the Agreement, the Presidio Trust, National Park Service, California State Historic Preservation Officer and Advisory Council on Historic Preservation agree to amend the Agreement as follows:

**I. ROLES AND RESPONSIBILITIES**

**A. The Trust**

1. The Trust's Chief Executive Officer (CEO) shall be responsible for funding the agency's preservation program and assigning qualified staff and other resources to carry out identification and management responsibilities effectively.
2. The CEO shall designate a Federal Preservation Officer (FPO) who shall be responsible for coordination of the preservation program and implementation of the terms of this PA. The FPO will have sufficient authority and control over internal processes to ensure that decisions made pursuant to this PA are carried out. The FPO shall meet the requirements for a Preservation Officer as defined in "The Secretary of the Interior's Standards and Guidelines for Federal Agency Historic Preservation Programs Pursuant to the National Historic Preservation Act," have five years or more experience in historic preservation and meet the professional qualifications for Archaeologist, Historian, Architectural Historian or Historic Architect included in "The Secretary of the Interior's Historic Preservation Professional Qualification Standards." The FPO shall coordinate with the NEPA Compliance Manager and N2 Compliance Coordinator in carrying out the provisions of Stipulations IV and V.

All subsequent references to "DFPO" in the agreement document shall be changed to refer to the "FPO".

**EXECUTION** of this Amendment by the Trust, NPS, and SHPO and implementation of its terms evidence that the Trust has taken into account the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

**SIGNATORY:**

**Presidio Trust**

\_\_\_\_\_  
Date  
**Jean S. Fraser, Chief Executive Officer**

**SIGNATORY:**

**California State Historic Preservation Officer**



---

**Julianne Polanco, California SHPO**

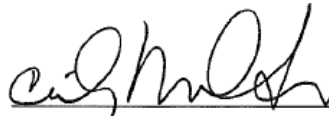
Date

6 Jan 2017 p



**INVITED SIGNATORY:**

**National Park Service**

 \_\_\_\_\_ Date 22 May 2017  
**Cicely Muldoon, Acting General Superintendent**  
**Golden Gate National Recreation Area**