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January 30, 2017

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Reference: 2016 Annual Report on Activities under the 2014 Presidio Trust Programmatic Agreement, the Presidio of San Francisco National Historic Landmark District, San Francisco, California

Pursuant to Stipulation XIV of the Presidio Trust Programmatic Agreement (PTPA, 2014), enclosed is the 2016 Annual Report of activities conducted under that PA.

In 2016, the Presidio Trust celebrated the 50th anniversary of the National Historic Preservation Act alongside the nation's preservation community with a sense of reflection, gratitude and forward-looking purpose. We were also pleased to commemorate the centennial anniversary of the National Park Service, and thank our partners for their trailblazing role in preserving American cultural heritage here in California and beyond. Our principal activity for recognizing these milestones was to host the 41st annual California Preservation Foundation conference at the Presidio in April. At the conference we were enormously proud to be recognized by CPF president

Kelly Sutherlin McLeod as “perhaps the biggest preservation success story of the 20th century”, praise that would not be possible without the contributions of our partner agencies, tenants and park users. We are exceptionally grateful for the many preservation advocates, professionals and organizations that have made the revitalization of the Presidio of San Francisco such a success, and we look forward to your continued collaboration as we embark on the NHPA’s next 50 years.

The enclosed report documents all compliance decisions, including Appendix A, administrative and full reviews for the calendar year 2016. Between January and December 2016, 44 projects were reviewed by Trust preservation professionals through Stipulation IV of the PA (commonly referred to as the “N²” process). Of these, 39 were reviewed at the administrative level and 5 at the full level of review. Undertakings reviewed included the rehabilitation of a Montgomery Street barracks to expand the Presidio’s hotel offerings, reforestation of a key historic stand of cypress trees, and reuse of a historic streetcar depot for two public-serving tenants. As in years past, the Trust reviewed a substantial number of “repetitive or low impact activities” through Appendix A of the PA. Appendix A includes actions such as cleaning, painting and cyclic repairs to buildings, replacement in-kind of deteriorated roofs, road and parking lot maintenance, abatement of hazardous materials, and other such low impact activities.

The N² team that participates in the agency’s project review process is comprised of eight preservation professionals that meet the Secretary of Interior’s standards for Archaeology, Historic Architecture, and Architectural History. The group of historic preservation staff regularly involved in full N² reviews in 2016 is composed of historical architect Rob Wallace; historical landscape architect Michael Lamb; conservator and preservation project manager Christina Wallace; archaeologists Eric Blind, Kari Jones, and Liz Clevenger, (who are supported by staff archaeologists Juliana Fernandez and Edward DeHaro); and historic compliance staff Rob Thomson and Michelle Taylor. Staff historian Barbara Berglund also regularly contributes to preservation-related reviews. The historic compliance staff continues to collaborate closely with the Trust’s operations and maintenance crews, who work with the NHL’s buildings, landscapes, roads and forests on a daily basis. These crews are composed of journeymen carpenters, masons, electricians, plumbers, gardeners and foresters, many of whom have been trained in preservation maintenance practice, and/or have multiple years of experience working with historic resources at the Presidio.

Jean Fraser, the Trust’s new Chief Executive Officer joined the agency in September of 2016, kicking off a new era of leadership at the Presidio. Ms. Fraser came to the Trust following previous roles as the CEO of the San Francisco Health Plan, Chief of the San Mateo County Health System, and service in the San Francisco City Attorney's Office. In September, Ms. Fraser appointed Rob Thomson as the agency’s Federal Preservation Officer, a role he had performed in an acting capacity since early 2016. Also in September, Michelle Taylor assumed the title of Historic Preservation Specialist, owing to her enhanced role managing the department’s annual historic preservation intern and developing in-house training activities for Trust staff working with historic resources. She continues to carry out her previous duties of administering the Trust’s environmental and historic preservation review process, and acting as a liaison with our residential, building maintenance, project management and development teams on historic preservation issues. Additionally, Christina Wallace was promoted to Senior Project Manager for Historic Preservation

in recognition of her exceptional contributions to several of the Presidio's most challenging projects.

Work continued on the Doyle Drive/Presidio Parkway project throughout 2016, including relocation and the first phases of rehabilitating building 201 (Warehouse, 1896), progress on delivering final parking lots and landscape areas throughout the project corridor, and soil stabilization measures to construct the re-created Main Post Bluff. Remaining work to be performed includes final landscape design and construction and completion of several remaining mitigation measures agreed to by the project. The Trust continues its strong working relationship with Caltrans, National Park Service and San Francisco County Transportation Authority cultural resource staff to ensure that the NHL is well-protected and the commitments under the Doyle Drive PA are carried out.

The Trust continued consultation on the Tunnel Tops (formerly New Presidio Parklands project) throughout 2016, including responding to comments from PTPA parties on the Environmental Assessment and Preliminary Finding of Effect, finalization of project design guidelines and continued coordination with Caltrans/FHWA regarding handover conditions from the Doyle Drive project. Design for the project continued through 2016, and the Trust looks forward to concluding consultation and releasing final designs to agency stakeholders and the public in 2017.

Cyclic and preservation maintenance activities in 2016 included a continuation of the agency's highly-successful preservation maintenance program for unoccupied historic buildings, along with work performed on the historic Simonds Loop, Upper Kobbe, Riley and East Washington residential neighborhoods. In 2016, Trust crews completed stabilization work on Crissy Field's building 651 (Administrative Building, 1921), including critical roof and downspout repairs, along with exterior envelope patching and painting. Building 951 (Bachelor Officers' Quarters, 1921) located at the eastern end of Pilots Row in north Fort Scott received roof repairs, paint and carpentry work to deteriorated historic elements such as its rooftop balustrade. Roof and exterior envelope repairs continued in the nine-building Thornburgh area of the Old Letterman Hospital complex (built 1899-1938), resulting in the completed mothballing of buildings 1040, 1047, 1062, 1060, 1059 and 1056. The Trust's preservation maintenance activities continue to rely on a strong collaboration between the Trust's building maintenance and compliance departments, which meet weekly and regularly collaborate on scope development and project prioritization.

Trust documentation efforts continued to inform project design development and consultation support in 2016, including two historic structure reports prepared in 2015 (building 99, Theater, 1939; and building 105, Montgomery Street Barracks, 1895). In December, construction began on building 105, which the Trust will adaptively reuse as a 42-room hotel scheduled to open in the spring of 2018. A prospective tenant for the Theatre submitted successful parts 1 and 2 applications for the Federal Historic Preservation Tax Credit program; construction on building 99 should begin in 2017 pending completion of lease negotiations. This project was facilitated by an amendment to the 2010 Programmatic Agreement for the Main Post Update (PA-MPU) that was executed in 2016, creating a process by which MPU projects could participate in the tax credit program while meeting other commitments under that agreement document. Also in 2016, design guidelines for the Tunnel Tops project were updated per agency comment and finalized in the spring to help guide that project through its final phases of design.

The Trust continued landscape rehabilitation and habitat restoration work in the Tennessee Hollow watershed in 2016 consistent with plans analyzed in the 2008 Environmental Assessment and the 2001 Vegetation Management Plan. The MacArthur Meadow project was largely completed, including the first phase of planting in the four acre “wet meadow” habitat, completion of five new interpretive waysides that tell the story of the site’s earlier use as a nursery for the 1915 Panama-Pacific International Exposition gardens, as well as other natural resource-related themes. Work on the Presidio’s historic forest also advanced with 2.5 acres of cypress and pine stands replaced in the park over the course of the year. Reforestation in 2016 included the first phase of work in the Park Boulevard key historic stand. In collaboration with noted forestry experts from the University of California, Berkeley, the Trust successfully began this multi-year effort to revitalize one of the most recognized and picturesque forested areas in the park.

Tenant-sponsored rehabilitation projects were limited in 2016, consisting of converting building 558 (Post Exchange and Restaurant, built 1920) and ongoing work on Paul Goode Field. The Trust had previously rehabilitated Letterman District’s building 558 in 1999-2000 for an office tenant. In 2016, the First Republic Bank and Post Office, which since 2001 had shared building 210 (Guardhouse, 1901) moved out of their existing building in order to make room for the forthcoming Presidio Visitor’s Center. The new build-out divided building 558 into two unconnected commercial units; the select removal of non-historic partitions, fixtures, and finishes resulted in the restoration of the open-plan character of the building’s original dining room. A new fire suppression system upgraded the building’s life-safety infrastructure, and a previously obscured historic tile floor was exposed, cleaned and returned to service in the post office lobby. First reviewed in 2015, the University High School’s work to rehabilitate Paul Goode Field progressed throughout 2016, with all major site prep and infrastructure completed. Landscape installation is expected during the first quarter of 2017 with the project sponsors targeting a spring 2017 opening for the expanded and improved, publicly-accessible playing fields.

In 2016, Trust archaeology staff provided NHPA compliance support for ongoing Trust operations, conducted elective archaeological research, and provided ongoing care and maintenance of previously excavated collections. An Archaeological Management Assessment (AMA) was completed for the earlier-mentioned Building 105 Rehabilitation Project and an Archaeological Identification Plan (AIP) was prepared for the Tunnel Tops project to guide ongoing design efforts during the calendar year. No Archaeological Monitoring Plans (AMPs) were issued in 2016, but Trust archaeology staff provided archaeological monitoring support for eleven projects in the Presidio in 2016, including irrigation valve replacement on the Civil War Parade Ground, tree planting and installation of interpretive waysides at various locations in the Main Post. No significant archaeological material was discovered during monitoring projects, and no significant deposits were inadvertently discovered in 2016. Archaeological research this year focused on the Pershing Square portion of *El Presidio de San Francisco*, the Spanish-colonial archaeological site in the Presidio’s Main Post. Investigations were conducted by Trust archaeology staff, a team of interns, and volunteers who assisted in field and laboratory processing; a full report of the field season will be completed in early 2017 and published in next year’s report. The Heritage Program Education Team served a total of 2,078 San Francisco Bay Area students in archaeologically-focused programs, and volunteers welcomed more than 700

people into the Presidio Archaeology Lab for various public-facing programs over the course of the year.

Professional development highlights included continued partnerships with the National Preservation Institute, internship opportunities, and the development of an in-house training program. The Trust marked its tenth year collaborating with NPI in 2016 with three agency sponsored classes covering introduction to Section 106, Section 4f training, and NEPA compliance for cultural resources. The Trust historic compliance staff hosted a graduate intern from Columbia University's historic preservation program during the summer, resulting in research that will inform design guidelines for the future rehabilitation of the Halleck Street Quartermaster buildings. Michelle Taylor piloted an in-house preservation training program for Trust building maintenance staff, opening with an introduction to the Secretary's Standards for the Treatment of Historic Properties; based on the positive reception of this program future preservation staff-led trainings will be rolled out in the years to come.

In closing, Trust staff and management wish to invite each of you to come to the Presidio this year to experience the new Visitor Center in historic building 210, which will officially open to the public in February. This project is the culmination of a long-standing commitment to welcoming the public to the park on behalf of the Trust, the National Park Service and the Golden Gate National Parks Conservancy. The Presidio Trust thanks each of you for the support you've provided during this important year, and for your contributions to our nation's historic preservation successes. If you have any questions about this report or our program, please contact me at (415) 561-2758 or rthomson@presidiotrust.gov. A copy of this annual report has been placed in the Presidio Trust Library and on our website and is available for interested persons and members of the public who wish to provide comments.

Sincerely,



Rob Thomson
Federal Preservation Officer, Presidio Trust



PRESIDIO TRUST 2016 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

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PROGRAMMATIC AGREEMENT
AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN
AND
VARIOUS OPERATION AND MAINTENANCE ACTIVITIES
FOR AREA B OF
THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,
GOLDEN GATE NATIONAL RECREATION AREA
SAN FRANCISCO, CALIFORNIA

WHEREAS, the Presidio Trust (the Trust), pursuant to the Presidio Trust Act, Title I of Public Law 104-333, was established as a wholly owned government corporation to manage a portion of the Presidio of San Francisco (Presidio); and

WHEREAS, pursuant to Public Law 104-333, administrative jurisdiction was transferred to the Trust on July 1, 1998 for approximately 80% of the Presidio that was depicted as Area B on the map entitled “Presidio Trust Number 1,” dated December 7, 1995, (see Appendix C) which may be amended from time to time, and which serves as the area of potential effect (APE) for this undertaking; and

WHEREAS, the entire Presidio is within the Golden Gate National Recreation Area (GGNRA) and is a designated National Historic Landmark District (NHLD) representing 218 years of military history, is listed on the National Register of Historic Places (NRHP), and contains individually eligible NRHP historic properties that are both prehistoric and historic; and

WHEREAS, the Trust, in order to uphold its Congressionally mandated requirement of preserving Area B of the Presidio as part of GGNRA and of financial self-sufficiency, carries out a variety of undertakings subject to review under Section 106 of the National Historic Preservation Act (NHPA), 16 U.S.C. § 470f, and its implementing regulations, 36 C.F.R. Part 800, including but not limited to maintenance, rehabilitation, repair, moving, interim and long-term leasing, construction and demolition of buildings, structures, and roads, and work regarding grounds and associated landscaping as proposed under the Presidio Trust Management Plan (PTMP, 2002 with updates), or proposed under the direct or indirect jurisdiction of the Trust including undertakings proposed by the Trust's permittees, federal or non-federal tenants, or other parties; and

WHEREAS, the Trust has determined that these undertakings may have an effect upon historic properties listed in or eligible for listing in the NRHP, including properties that contribute to the NHLD, and has consulted with the Advisory Council on Historic Preservation (ACHP) and California State Historic Preservation Officer (SHPO) pursuant to 36 C.F.R. Part 800; and

WHEREAS, the Trust has notified the Secretary of the Interior (SOI) in accordance with 36 C.F.R. § 800.10(c), and the National Park Service’s (NPS) Pacific West Regional Office and the GGNRA are representing the SOI, and have been invited to sign this Programmatic Agreement (PA) as an invited signatory, and that both the Pacific West Regional Office and GGNRA will receive information and participate in consultations, and that the Pacific West Regional Office will be the signatory authority for NPS; and

WHEREAS, the Trust has identified and notified parties as consulting parties (Appendix G); and

WHEREAS, the Trust has invited the National Trust for Historic Preservation (NTHP) and the Presidio Historical Association (PHA) to sign this PA as concurring parties; and

WHEREAS, in July and November 2013 the Trust notified the public through its regular “eNews” electronic mail distribution list of the consultation for the development of this PA, and afforded them the opportunity to comment; and

WHEREAS, the Trust has made a good faith effort to locate federally recognized Indian tribes that may attach religious and cultural significance to properties under the administrative jurisdiction of the Trust or with which the Trust could consult under the Native American Graves Protection and Repatriation Act (NAGPRA); and the Trust has determined that there are no such federally recognized tribes; and

WHEREAS, in accordance with 36 C.F.R. § 800.6(a)(1), the Trust has notified the Advisory Council on Historic Preservation (ACHP) of its effect determination providing the specified documentation, and the ACHP has chosen to participate in the consultation pursuant to 36 C.F.R. § 800.6(a)(1)(iii) (the Trust, SHPO, and the ACHP are each a “Signatory,” and the NPS is an “Invited Signatory” to the PA and, hereafter are “Signatories”); and

WHEREAS, the remaining area of the Presidio depicted as Area A on “Presidio Trust Number 1,” dated December 7, 1995,(see Appendix C) remains under the administrative jurisdiction of the NPS and is not subject to this PA; and

WHEREAS, the San Francisco National Cemetery remains under the administrative jurisdiction of the United States Department of Veterans Affairs and is not subject to this PA; and

WHEREAS, the undertakings contemplated under the Main Post Update (MPU), adopted by the Trust in 2011, are not subject to this PA, but are within the scope of the *Programmatic Agreement Among the Presidio Trust, the California State Historic Preservation Officer, the National Park Service, and the Advisory Council on Historic Preservation for the Main Post Update to the Presidio Trust Management Plan, Presidio of San Francisco National Historic Landmark, San Francisco, California* (PA-MPU, 2011); and

WHEREAS, the undertakings contemplated under the *Programmatic Agreement Among the Presidio Trust, the Advisory Council on Historic Preservation, the National Park Service and the California State Historic Preservation Officer Regarding Deconstruction, New Construction, and the Execution of Associated Leases at the Letterman Complex, Presidio of San Francisco, California* (LDA PA, 2000) have been completed and according to Stipulation XIII of the LDA PA the signatory parties have agreed to terminate the PA; and

WHEREAS, the PTMP is a comprehensive programmatic plan developed by the Trust to guide the management of Area B and is a programmatic document that presents a range of preferred land uses, Planning Principles (Principles), and Planning District Guidelines (PDG) for identified planning districts within Area B of the Presidio; the Principles and PDG are intended as a policy framework to guide the Trust’s future activities as well as further project-specific and/or district-level planning prior to building demolition or new construction with the potential to adversely affect historic properties; and

WHEREAS, the Trust, SHPO, NPS, and the ACHP consulted on the PTMP, including its Principles and PDG, and executed an agreement document in 2002, which the NTHP and PHA signed as concurring parties, that expires on April 30, 2014, or upon execution of this PA; and

WHEREAS, the Trust will employ the 2013 Council for Environmental Quality (CEQ) and ACHP guidance for coordinating its agency procedures and mechanisms (including mechanisms under the National Environmental Policy Act (NEPA)) to fulfill their consultation requirements as found in the "NEPA and NHPA: Handbook for Integrating NEPA and Section 106 Reviews" (CEQ/ACHP Guidance); and

WHEREAS, the Trust and NPS have conducted numerous surveys and evaluations to identify NRHP-eligible and NHL-D-contributing properties for the entire Presidio NHL-D, including archaeological surveys, and regardless of administrative jurisdiction; the most complete survey to date is the 1993 NHL-D update; the Trust is currently determining if there are additional properties in Area B not previously listed or determined eligible for listing on the NR or as contributors to the NHL-D via the 2008 NHL-D update, which considers eligibility of post-1945 resources, but does not re-evaluate resources listed in the 1993 NHL-D update; and

WHEREAS, the Trust has secured a commitment from the Federal Highways Administration (FHWA) through the *Programmatic Agreement among the Federal Highway Administration, the California Department of Transportation, the San Francisco County Transportation Authority, the Presidio Trust, the National Park Service, the Department of Veterans Affairs, the California State Historic Preservation Officer, the Advisory Council on Historic Preservation, and the San Francisco County Recreation and Parks Department for the South Access to the Golden Gate Bridge, Doyle Drive Replacement Project, San Francisco, California* (Doyle Drive PA, 2008) to comprehensively update the NHL-D forms again at the conclusion of the Doyle Drive/Presidio Parkway construction project (estimated 2016); and

WHEREAS, the Trust shall strive to manage and preserve the integrity of that portion of the NHL-D in Area B through planning, research, and specific undertakings consistent with good historic preservation management and stewardship, the goals of the NHPA and related regulations, standards, and guidelines; these efforts are with the objective of remaining in compliance with the applicable provisions of the NHPA and the Presidio Trust Act; and

WHEREAS, the Trust as the federal agency with administrative jurisdiction for Area B is the responsible agent for design consistency, conformance with building codes, life/safety and accessibility standards, conformance with sustainability guidelines and goals, and integration and operation of infrastructure systems such as electricity, water, and sewer and has developed a Tenant Handbook and other such descriptive materials to guide this responsibility; and

WHEREAS, the Trust has consulted with the SHPO, NPS and the ACHP regarding ways to ensure that the Trust's operation, management, and administration of the NHL-D provides for management of the Presidio's historic properties in accordance with the relevant sections of the NHPA; and

NOW, THEREFORE, the Trust, NPS, SHPO, and ACHP agree that the undertakings shall be implemented in accordance with the following stipulations in order to take into account the effect of the undertaking on historic properties.

STIPULATIONS

The Trust shall ensure that the following measures are carried out:

I. ROLES AND RESPONSIBILITIES

A. The Trust

1. The Trust's Executive Director shall be the designated Federal Preservation Officer (FPO) and shall be responsible for funding the agency's preservation program and assigning qualified staff and other resources to carry out identification and management responsibilities effectively. The FPO will have sufficient authority and control over internal processes to ensure that decisions made pursuant to this PA are carried out.
2. The FPO shall designate a Deputy Federal Preservation Officer (DFPO) who shall be responsible for coordination of the preservation program and implementation of the terms of this PA. The DFPO shall meet the requirements for a Preservation Officer as defined in "The Secretary of the Interior's Standards and Guidelines for Federal Agency Historic Preservation Programs Pursuant to the National Historic Preservation Act," have five years or more experience in historic preservation and meet the professional qualifications for Archaeologist, Historian, Architectural Historian or Historic Architect included in "The Secretary of the Interior's Historic Preservation Professional Qualification Standards." The DFPO shall coordinate with the NEPA Compliance Manager and N² Compliance Coordinator in carrying out the provisions of Stipulations IV and V.
3. All work pursuant to this PA regarding historic properties will be performed by, reviewed by, or under the supervision of, a person or persons having five years or more experience in historic preservation and meeting the professional qualifications for Archaeologist, Historian, Architectural Historian, or Historic Architect included in "The Secretary of the Interior's Historic Preservation Professional Qualification Standards."
4. The Trust shall ensure that the agency's operation, management, and administration of the Presidio's historic properties are carried out in accordance with Section 112 of the NHPA.

B. SHPO, NPS, and the ACHP

1. The SHPO and the NPS will review and comment on undertakings in accordance with Stipulations IV, V, VI, VII and VIII may raise and resolve objections according to Stipulation IX, and may amend or terminate this agreement according to Stipulations X and XI.
2. The ACHP may raise and resolve objections according to Stipulations IV and IX and may amend or terminate this agreement according to Stipulations X and XI.

C. Concurring Parties

1. Concurring parties may review and comment on undertakings pursuant to Stipulation IV, VI, and VII and may raise objections according to Stipulation IX.

D. The Public

1. The public may participate in public comment periods and review undertakings according to Stipulation IV, and review and comment on the Trust's annual report in accordance with Stipulation XIV.

II. CONTINUING EDUCATION

A. The Trust shall provide ongoing and appropriate training to Trust personnel involved in the maintenance, repair, and rehabilitation of historic buildings, structures and housing units, and for all personnel responsible for making decisions regarding maintenance, repair, and rehabilitation at the Presidio.

B. The Trust shall regularly organize, facilitate, or partner with outside organizations to provide specialized crafts training programs in practical application of "The Secretary of the Interior's Standards for the Treatment of Historic Properties" (Secretary's Standards) and other subject matter related to management of the NHLD to applicable Trust staff.

C. The Trust shall provide training in conservation practices as applied to historic structures and archaeological sites to Trust personnel for work at the Presidio.

D. The Trust shall develop and implement an in-house training program to advise Trust personnel of this PA and procedures, techniques, and related matters regarding the preservation of the historic properties located within Area B within six months of execution of this PA. The training will be repeated every other year thereafter.

E. The Trust shall provide guidance and available research materials, reports, NRHP forms, condition assessments, the Tenant Handbook, design standards, and all such materials in its possession that will assist tenants or other parties in designing projects that may affect historic properties at the Presidio, including the following:

1. Provide guidance in Presidio design and construction standards as indicated in the Tenant Handbook and other verbal and written guidance materials.

2. Provide guidance in the professional areas of historic preservation, architecture, engineering, fire and life/safety, security, building construction, materials conservation, historic architecture, historic landscape architecture, archaeology, and history as appropriate.

3. Provide ongoing review in the disciplines of historic architecture, historic landscape architecture, and archaeology, on historic building and landscape rehabilitation designs, and advise project proponents as designs progress and on modifications to scopes of work that will bring them into compliance with the Secretary's Standards.

F. The Trust shall detail the scope of professional development undertaken each year as part of the Trust's annual report in accordance with Stipulation XIV.

III. DOCUMENTATION, IDENTIFICATION, EVALUATION & ANALYSIS OF HISTORIC PROPERTIES

A. Documentation, Identification & Evaluation of Historic Properties

1. Evaluation of buildings or structures shall be conducted within the framework of the National Historic Landmarks Criteria, the NRHP Criteria, and the “National Register of Historic Places Registration Forms for the Presidio of San Francisco National Historic Landmark District” (1993, or subsequent updates). If properties are found that date to either before or after the period of significance (such as prehistoric) or do not fit the NHL criteria, those properties will be individually evaluated under NRHP criteria.

2. If a property in Area B that was not previously listed as a contributor to the NHLD or determined eligible for listing on the NRHP is determined by the Trust to be eligible, the Trust shall treat that property as eligible for purposes of this PA. The Trust shall consult on such decisions with the NPS and SHPO. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Any such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

3. If the Trust determines that a property not previously listed or evaluated does not contribute to the NHLD or is not eligible for listing on the NRHP, the Trust shall consult with the SHPO and NPS on such decisions. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

4. The Trust shall evaluate, or cause to be evaluated, the significance of and apply NHL and NRHP criteria to archaeological properties that have not previously been evaluated for contributing to the NHLD or determined eligible for listing on the NRHP. The Trust shall consult with the SHPO and NPS on such decisions. Consultation on these decisions should not exceed 30 days unless another time period is agreed to by the signatories. Such consultations will be documented in the Trust’s annual report in accordance with Stipulation XIV below, and according to appropriate documentation protocols determined in consultation with SHPO and the NPS.

5. If the Trust, NPS, and SHPO disagree about a property the Trust has determined eligible or ineligible, the Trust will submit the matter to the Keeper of the National Register in accordance with 36 C.F.R. Part 63(d).

6. Should a concurring party to this PA or a member of the public believe that a property found ineligible under this stipulation is eligible as a contributor to the NHLD or for listing in the NRHP, that party or person may contact the Trust, SHPO, and NPS to request consultation on the determination. Consultation should not exceed 30 days. Should the consultation fail to reach concurrence on the determination, that party or person may contact the Keeper of the National Register and request a determination of eligibility under 36 C.F.R. § 63.4.

7. Ten years following the acceptance by the NPS of the NHLD update that will be completed by FHWA in accordance with the Doyle Drive PA, the Trust shall initiate the next comprehensive update to the NHLD.

B. Analysis of Historic Properties

1. The Trust may, at its discretion, prepare analysis documents and issue-oriented plans in order to inform maintenance plans or consultation around rehabilitation or management strategies for historic properties. These documents shall include, but not be limited to, sub-district or site-specific design guidelines, historic structure reports (HSRs), cultural landscape reports (CLRs), or issue-oriented plans (e.g., Vegetation Management Plan, Historic Forest Character Study).

a) The Trust shall prepare CLRs according to the format recommended by Chapter 7 (Management of Cultural Landscapes) of *NPS 28: Cultural Resource Management Guideline*.

b) All HSRs shall be written in accordance with the standards established in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports* (NPS, 2005). The HSRs will include a history of the property/building, construction history, archaeology, architectural evaluation, conditions assessment, maintenance requirements, recommendations for proposed work, copies of original drawings and specifications (if available), current drawings if different from the original, and historic and current photographs.

c) Sub-district or site-specific design guidelines shall remain consistent with applicable Principles and PDGs to the maximum extent possible.

2. The Trust shall notify parties of its intent to prepare a document under this stipulation via electronic mail once a project has been initiated.

a) Upon completion of a first draft, the DFPO shall provide copies of the document to signatory and concurring parties for a 30 day review and comment period, unless another time period is agreed to by the signatories, prior to finalization. Documents will be sent in electronic or hard copy according to the recipient organization's requirements.

b) Comments received within the comment period will be considered in the finalization of the documentation.

c) The DFPO will circulate a summary of all comments received during the review period and the Trust's responses along with final copies of the documents.

d) Final copies of the documents shall be posted to the Trust's website and described in the Trust's annual report in accordance with Stipulation XIV.

3. Completion of an analysis document that contains treatment recommendations shall not substitute for review of an undertaking involving applicable historic properties under Stipulation IV. Rather, the documents prepared under this stipulation are intended to inform the Trust's and consulting parties' ability to assess and reach determinations of effect for undertakings reviewed under Stipulation IV.

IV. REVIEW OF UNDERTAKINGS

A. Determine the Undertaking

1. Early in the planning process, consistent with 36 CFR 800.1(c), the DFPO shall determine if a proposed project, which may originate from the Trust, Trust's permittees, federal or non-federal tenants, or other parties, constitutes an undertaking.

a) If the DFPO determines the proposed project has no potential to cause effects to historic properties, then the Trust has no further obligations under this Stipulation.

b) If the DFPO determines the proposed project is an undertaking with the potential to cause effects on historic properties, the DFPO will proceed to the next step in the review process in accordance with Stipulation IV(A)(2).

2. The DFPO shall assign one of the following categories to the undertaking.

a) Undertakings that are repetitive and low impact in nature (as described in Appendix A; to be reviewed in accordance with Stipulation IV(A)(3)).

b) Undertakings that relate to the ongoing operation and maintenance of the Presidio that include, but are not limited to the following: maintenance, rehabilitation, repair, moving, interim and long-term leasing, road modifications or improvements, and work regarding grounds and associated landscaping, traffic and parking improvements, utility and infrastructure work, natural resource restoration, environmental remediation and forestry work, permits, leases, or other agreements issued by the Trust. These undertakings will be reviewed through the N² process that includes joint NHPA and NEPA (at the Categorical Exclusion, or CE, level) in accordance with Stipulation IV(C)(1).

c) Undertakings that relate to stand-alone new construction, substantial additions to historic buildings or landscapes, partial or full demolition of historic properties, a rehabilitation that includes any of the previous actions as part of its scope, or undertakings that are not associated with the PTMP, an issue oriented plan, or site specific design guidelines, within Area B. These undertakings will be reviewed by coordinating NHPA and NEPA (at the Environmental Assessment/Environmental Impact Statement (EA/EIS) level in accordance with Stipulation IV(C)(2)).

d) Undertakings that seek to obtain certification under the Federal Historic Preservation Tax Incentives Program (known as Tax Credit Reviews), and reviewed in accordance with Stipulation V.

e) Undertakings that may affect historic properties, but do not fit into one of the above categories listed in Stipulation IV(A)(2)(a) through (d) shall be reviewed in accordance with 36 C.F.R. § 800.

3. If the DFPO determines the undertaking is an activity that is listed in Appendix A, the DFPO will document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

4. If the DFPO determines the undertaking is not an activity that is listed in Appendix A, the DFPO will continue on in the analysis and review process, beginning with Stipulation IV(B).

B. Define the Area of Potential Effects and Identify Historic Properties

1. The DFPO shall determine and document the undertaking's APE taking into account direct, indirect, and cumulative effects.

2. The DFPO will identify historic properties within the APE using the 1993 Update, the 2008 Update, subsequent NHL updates, or additional surveys if warranted. If there are unevaluated properties in the APE that may be eligible individually or as contributors to the NHL, the Trust shall consult with the SHPO and NPS according to Stipulation III.

3. If the DFPO determines that the APE contains no contributing or eligible resources, the DFPO shall consider the effect the project may have on the NHL as a whole. If the DFPO determines that the NHL or other historic properties will not be affected, this determination shall be documented for inclusion in the Trust's annual report (Stipulation XIV).

4. If the DFPO identifies a historic property that may be directly, indirectly, or cumulatively affected within the APE, the DFPO will continue on in the review process.

C. Assessment of Effects from the Undertaking and Resolution of Adverse Effects

The DFPO will assess the effects of the proposed undertaking, including cumulative effects, on historic properties using the criteria of adverse effects (36 C.F.R. § 800.5(a)(1)) and the Trust will complete the review process using one of the following compliance pathways.

1. N² Review Process

a) The Trust will assign a responsible project manager (PM) for each undertaking. The PM, who will represent the Trust, Trust's permittees, federal or non-federal tenants, or other parties, shall submit a package describing the proposed undertaking to the N² Compliance Coordinator for review by the DFPO and Trust NEPA Compliance Manager. The package will consist of a project summary document (known as a "Project Screening Form"), plans, drawings, specifications, photos, and any other information useful for describing the proposed undertaking.

b) The DFPO shall add a description of the APE, in accordance with Stipulation IV(B)(1), to the Project Screening Form.

c) The DFPO shall add identified historic properties, in accordance with Stipulation IV(B)(2), to the Project Screening Form.

d) If necessary, the DFPO shall consult with the PM and other staff qualified according to Stipulation I(A)(3) in order to ensure that the undertaking can achieve a finding of no adverse effect.

e) In collaboration with the Trust's Principal Archaeologist, Archaeologist or other qualified archaeologist, the DFPO shall ensure that an appropriate level of archaeological identification, assessment, or monitoring is performed for undertakings on top of or in proximity to archaeological areas of the NHL (see Appendix D), in accordance with an Archaeological Management Assessment (AMA) prepared for the undertaking in accordance with Stipulation VI.

f) The DFPO shall make one of the following determinations (see Appendix E for a flow chart of the below steps):

(1) **Historic Property Affected, No Adverse Effect** - If the above process results in the DFPO determining there is no adverse effect, the DFPO will document that finding in the undertaking's administrative record, along with stipulations to ensure that any unanticipated adverse effects are avoided, and ensure that the finding is included within the Trust's annual report in accordance with Stipulation XIV, and the undertaking may be implemented

(2) **Historic Property Affected, No Adverse Effect through Conditions** - If the above process results in the DFPO's finding that the proposed undertaking will have no adverse effect on historic properties with conditions, the DFPO will place the item on the agenda for the weekly N² review, which will consist of the following:

(a) The DFPO will prepare a project summary for circulation via electronic mail to qualified Trust staff that will participate in the review, signatory parties, except the ACHP, and concurring parties no later than the Monday before the regular Thursday morning meetings (occurring each week at 10:00 am Pacific Time). The project summary shall include information describing how the undertaking has been designed to avoid adverse effects. Hard copies of the Project Screening Form and supporting materials will also be made available in the Trust library, located at 103 Montgomery Street, for review and comment by the public.

(b) Signatory, concurring parties and the public may submit comments or questions about the project ahead of the Thursday meetings; signatory and concurring parties may also attend the meeting in person. Trust staff qualified under Stipulation I(A)(3) will review the project documents ahead of time and be present at the meeting to contribute to the discussion and development of conditions.

(c) Trust compliance staff will document meeting minutes and conditions required to support the no adverse effect determination, and circulate these draft minutes to signatory and concurring parties via electronic mail for comment or questions within five (5) business days of the meeting. The minutes and conditions shall reflect input from the DFPO and qualified Trust staff, as well as comments received from signatory and concurring parties or the public.

(d) Within five (5) business days following circulation of the meeting minutes and project conditions, the DFPO will distribute final minutes via electronic mail and then prepare a Certificate of Compliance (CoC) and Categorical Exclusion (CE) to be included in the undertaking's administrative record.

(e) The Trust will include the project description and finding in the Trust's annual report in accordance with Stipulation XIV and make the finding available upon request to any party or the public.

(f) Following the issuance of the CE and/or CoC, and absent objection by any consulting party or member of the public who has requested a copy of the finding, the undertaking may proceed without further review per this Stipulation.

(g) Because the Trust coordinates its NEPA and NHPA review, projects may appear on the N² agenda that have only NEPA implications (e.g. approval of new herbicides for use in Area B), and do not constitute an undertaking. In these cases, the Trust will note on the agenda that the project has no potential to affect historic properties and thus will not be subject to NHPA review.

(3) **Historic Property Affected, Adverse Effect** - If the DFPO finds that the proposed undertaking will have an adverse effect on historic properties, the DFPO shall consult with the NPS and SHPO to determine if the adverse effect may be avoided.

(a) Where the Trust, SHPO, and the NPS agree on measures to avoid adverse effects, they shall document their agreement in the administrative record for the project, and include a summary of avoidance measures for the undertaking in the annual report in accordance with Stipulation XIV. The undertaking may proceed without further review per this Stipulation.

(b) If the DFPO finds the proposed undertaking will result in an adverse effect and consults with NPS and SHPO but fails to reach agreement pursuant to paragraph IV(C)(1)(f)(3)(a) above, then the DFPO shall also consult with ACHP and the concurring parties to resolve the adverse effect in accordance with 36 CFR 800.6.

2. Coordination with an Environmental Assessment or Environmental Impact Statement Process

a) If the Trust is preparing an EA or an EIS for NEPA it shall follow recommendations in the CEQ/ACHP Guidance, Section IV “Road Map for Coordination,” relative to development of a comprehensive communication plan, creation of an integrated strategy for completing studies to fill data gaps that meet information standards and timing requirements for both NEPA and NHPA processes, and – where appropriate – descriptions of mitigation commitments in the decision record. The Trust will include a project-specific description of its intended “Road Map for Coordination” as part of the scoping notice for NEPA and initiation of NHPA consultation under this stipulation.

b) The Trust shall ensure that the undertakings reviewed under this compliance pathway conform to the Secretary’s Standards, the Principles, and any applicable PDG to the maximum extent possible.

c) First Consultation Package - In coordination with the opening of public scoping for the NEPA process and consistent with 36 CFR 800.1(c), the Trust shall provide the SHPO, the NPS, and concurring parties with an initial consultation package.

(1) The First Consultation Package shall include the following: a determination of the project to be an undertaking (Stipulation IV(A)(2)), a graphic and written justification for the proposed APE and list of historic properties identified in the proposed APE (Stipulation IV(B)(1) and (2)), and a preliminary assessment of effect based on the undertaking’s consistency with the Secretary’s Standards, Principles, and relevant PDGs.

(2) Provided the purpose and need describes a project that has been determined to be an undertaking (in accordance with Stipulation IV(A)(2)), the preliminary assessment of effect shall be one of the following: (1) Historic Property Affected, No Adverse Effect, (2) Historic Property Affected, No Adverse Effect through Conditions, or (3) Historic Property Affected, Adverse Effect. The comment period on this consultation package shall be coordinated with the NEPA scoping period, and will be specified in the cover letter. The comment period shall not be fewer than thirty (30) days.

d) Second Consultation Package & Process - In coordination with the release of a draft EA/Finding of No Significant Impact (FONSI) or draft EIS, the Trust will distribute to the SHPO, the NPS, and concurring parties for comment a second consultation package.

(1) For undertakings with a preliminary finding of “historic property affected, no adverse effect” or “historic property affected, no adverse effect through conditions”, the Second Consultation Package will contain the following: a final APE, summary of scoping comments and the Trust’s responses, and a determination of effect regarding the undertaking on historic properties. The Trust will include supplemental information in the second consultation package that describes the historic properties and an analysis of how the undertaking will affect them. The package will also contain a request for a consultation meeting among the signatory parties in order to discuss the Trust’s finding and seek a consensus that the undertaking will not adversely affect historic properties, conforms to the Secretary’s Standards, the Principles and any applicable PDGs to the maximum extent possible.

(a) The concurring parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust for the signatory parties’ consideration during this consultation. The Trust shall provide these comments to the signatory parties.

(b) The signatory parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust regarding the determination of effect and changes, if any, that are needed for the undertaking to avoid adverse effects, meet the Secretary’s Standards, the Principles and applicable PDGs.

(c) The consultation meeting to discuss these comments will be held in person or by telephone within ten (10) days of the close of the thirty (30) day comment period described under Stipulation IV(C)(2)(e)(1), or from the close of any extended comment period. The Trust shall provide a summary of all comments from the public gathered via review of the draft EA or EIS to the signatory parties prior to the consultation meeting. The signatory parties may decide to forego the consultation meeting if they have indicated concurrence with the Trust's findings in their comments.

(d) If the Trust modifies the undertaking in response to comments received from the SHPO and NPS in order to achieve concurrence on a finding of no adverse effect, or the signatory parties concur with the findings or decline to comment, the Trust shall document these modifications, finalize the EA/EIS and revised description of the undertaking, and immediately provide each of the other parties with copies of the final materials. The Trust shall document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

(2) For undertakings with a preliminary finding of "historic property affected, adverse effect", the Second Consultation Package will contain the following:
a final APE, summary of scoping comments and the Trust's responses, and an assessment of the undertaking's effects on historic properties. The Trust will include supplemental information in the second consultation package that describes the historic properties and an analysis of how the undertaking will affect them. The package will also contain a request for a consultation meeting among the signatory parties in order to discuss the Trust's finding and seek a consensus on avoidance measures.

(a) The concurring parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust for the signatory parties' consideration during this consultation.

(b) The signatory parties will have thirty (30) days following the date of receipt of the second consultation package to provide written comments to the Trust regarding the assessment of effect and comment on ways the undertaking could be modified to avoid adverse effects, meet the Secretary's Standards, the Principles and applicable PDGs.

(c) The consultation meeting to discuss these comments will be held in person or by telephone within ten (10) days of the close of the thirty (30) day comment period described under Stipulation IV(C)(2)(e)(1), or from the close of any extended comment period. The Trust shall provide a summary of all comments from the public gathered via review of the draft EA or EIS to the signatory parties prior to the consultation meeting.

(d) Where the Trust, SHPO, and the NPS agree on how to avoid adverse effects, they shall document their agreement in the administrative record for the undertaking, the Trust may finalize the EA/EIS to include the revised description of the undertaking and immediately provide each of the other parties with copies of the final materials. The Trust shall document this determination for inclusion in the Trust's annual report (Stipulation XIV), and the Trust has no further obligations under this Stipulation.

(e) If the DFPO consults with NPS and SHPO but fails to reach agreement, then the DFPO shall also consult with ACHP and the concurring parties to resolve the adverse effect in accordance with 36 CFR 800.6.

3. Failure of NPS, SHPO, ACHP, or the concurring parties to comment within the timeframes established by this stipulation or within timeframes otherwise agreed to by those parties on any document submitted for review pursuant to this stipulation will be deemed a waiver of the opportunity to comment, and the Trust may proceed without considering comment(s) that might otherwise have been made. However, the Trust shall consider the reasonable request via written or electronic mail of any signatory party for a modification of the timeframes established by this stipulation.

V. Coordination with the Federal Historic Preservation Tax Incentives Program

This stipulation applies to all undertakings in Area B proposed by tenants or others (hereby referred to as Applicants) seeking to participate in the Federal Historic Preservation Tax Incentives Program. It defines steps and responsibilities for coordinated Section 106 consultation and Certified Rehabilitation review so that the regulatory objectives of both processes may be met, and so that the Trust's role as the long-term manager of properties in Area B is supported.

- A. Applicants seeking to participate in the Federal Historic Preservation Tax Incentives Program for a historic property or properties located in Area B shall follow the process delineated in 36 CFR Part 67. For Tax Incentive project review, applicants are encouraged to engage in early conversations and coordination with the SHPO. Applicants will be responsible for submitting two copies each of Parts One, Two, and Three applications and amendments to SHPO for review and approval.
- B. The Trust shall accomplish Section 106 review for all Tax Incentive projects proposed by an Applicant through the processes described in Stipulation IV above. Consultation under Stipulation IV will address direct, indirect and cumulative effects. The Trust shall supplement consultation packages described under subparts IV(C)(1)(f)(2)(a) and IV(C)(2)(c) and (d) with

information from the Parts One and Two submittals that may assist in the review and comment of participating parties.

1. If the Applicant receives Part Two approval from the NPS-Technical Preservation Services (NPS-TPS) without conditions, the rehabilitation described in the Part Two application will be considered to conform to the Standards; and if Section 106 review under Stipulation IV results in no adverse direct, indirect, or cumulative effects from the undertaking, and Section 106 consultation under Stipulation IV will be concluded.
 2. If conditions are placed on the Part Two approval, the Applicant shall be obligated to comply with those conditions.
 - i. The conditions may be resolved through compliance with the condition(s) or a Part Two amendment submitted to SHPO for review and approval. If the conditions are met and/or the amendment approved, the rehabilitation described in the Part Two application will be considered to conform to the Standards; and if the Section 106 review under Stipulation IV results in no adverse direct, indirect or cumulative effects from the undertaking, , and Section 106 consultation under Stipulation IV will be concluded.
 - ii. In the event that the Applicant cannot or will not modify the project to comply with the conditions, the Applicant may abandon the project or complete Section 106 review solely in accordance with Stipulation IV.
 3. SHPO and NPS shall be responsible for coordinating comments on consultation packages submitted during the 106 review with comments on tax credit submittals among the separate reviewing offices (e.g., NPS-PWRO and NPS-TPS).
- C. In addition to coordinating review under Stipulation IV(C), the Trust shall perform the following tasks in support of Tax Incentive projects:
1. The Trust will preliminarily review copies of Applicants' Parts One, Two and Three applications, and amendments to Part Two applications, prior to submittal to SHPO. The Trust will review these documents for their accuracy and consistency with Trust codes, regulations, planning documents, guidelines and general design direction as described in the Tenant Handbook and other such descriptive materials adopted or produced by the Trust for Area B. The Trust shall review these documents for no more than fifteen (15) calendar days and submit comments to the Applicant in writing prior to the Applicant's submittal of final documents to SHPO.
 2. The Trust shall assist the Applicant in making a determination regarding Functionally Related Structures (FRS) according to 36 CFR 67.6(b)(4), and ensure the Applicant submits adequate documentation to NPS-TPS to confirm the determination in conjunction with the Part One application submittal.
 - i. If the NPS-TPS confirms that the tax credit project is an FRS, any other work within the complex of historically functionally related buildings that is not subject to the tax credit project must be submitted to the Trust for Section 106 review through Stipulations IV or V and demonstrated to meet the

Standards. Such determinations will be documented in the Trust's annual report in accordance with Stipulation XIV below.

- ii. If NPS-TPS confirms that there are no FRS because there is no historic functional relationship among the structures, a certification decision will be made for the tax credit project only. Any other work must be reviewed separately.

- 3. The Trust shall monitor the construction phase of a Tax Incentive project for compliance with any stipulations established through the Certified Rehabilitation process. The Trust shall also monitor the five (5) year recapture period after the Applicant's completion of the rehabilitation beginning from the date when the building or buildings associated with the Certified Rehabilitation is/are placed into service.

- i. The DFPO shall employ the review process described under Stipulation IV for any substantive actions proposed involving a Certified Rehabilitation during the five (5) year recapture period.
- ii. The DFPO shall direct the applicant to notify SHPO in writing to describe the nature of the proposed undertaking and request comment as to its appropriateness according to terms established via the Certified Rehabilitation. SHPO may consult with NPS-TPS as appropriate on the proposed additional work.
- iii. The DFPO shall ensure that the additional work is carried out according to direction from the SHPO and NPS-TPS
- iv. The DFPO shall document the work, along with the rest of the undertaking, in the Trust's annual Section 106 report in accordance with Stipulation XIV.

VI. ARCHAEOLOGY

The Trust shall take all reasonable measures to protect archaeological sites and features identified inside the NHL. To accomplish this and inform the design process, an AMA shall be prepared by a qualified archaeologist for all undertakings that involve ground-disturbing activities within or adjacent to archaeologically sensitive areas (Stipulation IV(A)(2)(b-d)). All other ground disturbing activities are subject to archaeologist review via the Trust's dig permit process. The Trust's qualified archaeologist shall include copies of completed AMA's in the Trust's annual report in accordance with Stipulation XIV. Based on the Trust's assessment under Stipulation IV(C)(1)(e), the AMA will outline a course of action for the projects. This course of action shall include one or more of the following:

- A. The Trust shall develop a project-specific monitoring plan for those projects that are not anticipated to have an adverse effect, or that have been designed to avoid adverse effect during design development but that nonetheless are in or adjacent to identified or predicted archaeological areas (in accordance with Stipulation IV(C)(1)(f)(1) or IV(C)(1)(f)(2)). The monitoring plan will describe measures to protect archaeological features and will include the proposed location and frequency of monitoring along with required documentation procedures. Measures to identify, assess, and determine the appropriate treatment of archaeological features should they be encountered will be consistent with the discovery protocols (Appendix B).

B. The Trust shall develop a project-specific treatment plan at the completion of the schematic phase for projects that may have an adverse effect as determined under Stipulation IV(C)(1)(f)(2) but that require further identification to understand the content and dimensions of the features, to assess the nature and extent of the effect, and/or to guide continuing efforts to avoid the adverse effect. For the purposes of the undertaking, the Trust may assume NRHP eligibility for archaeological features identified. Identification will further refine recommendations in the AMA and may lead to a monitoring or treatment plan so that adverse effects will be avoided.

C. The Trust shall develop a project-specific treatment, monitoring, or other plan for those projects that have unavoidable adverse effects and where existing identification is sufficient to proceed with a treatment plan, or for which further identification is incorporated within the treatment plan. If this determination is reached through Stipulation IV(C)(1)(f)(3), the Trust shall consult with NPS and SHPO on the proposed treatment plan according to the terms of that Stipulation. The proposed plan will include a description of protection measures for unaffected archaeological features, relevant research questions to be answered, methods for data recovery, monitoring during construction, responsibilities and coordination, and the interpretation and curation of recovered materials. The plan will describe the mitigation sufficiently to serve as a scope of work and for the purpose of developing a budget. These reports will be summarized in the Trust's annual report in accordance with Stipulation XIV.

D. All material remains and associated records generated by such projects, and not subject to NAGPRA, will be accessioned, catalogued, and managed in accordance with 36 C.F.R. Part 79, "Curation of Federally-Owned and Administered Archaeological Collections," the Trust's *Archaeological Collections Policy* and the *Archaeological Collections Management Guidelines*.
36 C.F.R. Part 79 "

VII. UNANTICIPATED EFFECTS & POST REVIEW DISCOVERY

A. If after completion of an undertaking's review pursuant to Stipulation IV(C)(1) through (3), or if during the implementation of any previously reviewed undertaking, the Trust finds it necessary to modify the project scope or construction documents, the DFPO shall determine the necessary compliance pathway to address this modification in accordance with Stipulation IV(C).

B. The Trust shall utilize its Standard Archaeological Discovery Protocol (see Appendix B) for projects without any anticipated effects; this will be the only condition required prior to implementation. In the event of an archaeological discovery the Trust may assume eligibility for the purposes of treatment for the current undertaking. Should circumstances arise where the Trust cannot address discoveries in a manner consistent with the protocol, the Trust shall notify the SHPO and NPS of the discovery and any project-related time constraints, then agree upon reasonable time frames for consultation. The Trust shall take into account any timely comments prior to making a final decision on treatment. This protocol will describe the Trust's methods to comply with the Archaeological Resources Protection Act (ARPA) and NAGPRA for discoveries.

VIII. EMERGENCY RESPONSE

A. In the event that an emergency occurs at the Presidio that affects historic properties, the Trust may take actions without consultation to preserve life or property.

1. Trust will notify SHPO and NPS within 24 hours of the emergency or as soon as conditions permit.

2. The Trust will notify the SHPO and NPS of any actions taken to preserve life or property within five days of completing the action.

3. The Trust will include a summary of the emergency and any actions taken in the Trust's annual report in accordance with Stipulation XIV.

B. In the event of a disaster or emergency declared by the President or the Governor of California, the Trust can undertake actions involving historic properties to prevent further damage within thirty (30) days from the declaration of the disaster or emergency.

1. Emergency response work will be conducted in a manner that avoids or minimizes effects on historic properties and, where possible, such emergency measures will be undertaken in a manner that does not foreclose future preservation or restoration.

2. The Trust shall notify the NPS and SHPO of the emergency within two (2) days of the declaration and include the steps being taken to address the emergency, and shall provide on-site monitoring of emergency response work by qualified personnel (safe working conditions permitting). NPS and SHPO may comment on the proposed steps in order to facilitate the Trust's emergency response plan while also avoiding adverse effects to affected properties.

3. The Trust will include a summary of the emergency and response taken in the Trust's annual report in accordance with Stipulation XIV.

4. This timeframe may be extended with approval of the NPS and SHPO.

C. Actions as part of the recovery of a disaster or emergency shall be reviewed in accordance with Stipulation IV.

IX. DISPUTE RESOLUTION

Should any signatory or concurring party to this PA object at any time to any actions proposed or the manner in which the terms of this PA are implemented, the Trust shall consult with such party to resolve the objection. If the Trust determines that such objection cannot be resolved, the Trust will:

A. Notify signatory and concurring parties of the intent to resolve a dispute through the involvement of the ACHP, and forward all documentation relevant to the dispute, including the Trust's proposed resolution, to the ACHP. The ACHP shall provide the Trust with its advice on the resolution of the objection within thirty (30) days of receiving adequate documentation. Prior to reaching a final decision on the dispute, the Trust shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and provide them with a copy of this written response. The Trust will then proceed according to its final decision.

1. If the ACHP does not provide its advice regarding the dispute within the thirty (30) day time period, the Trust may make a final decision on the dispute and proceed accordingly. Prior to reaching such a final decision, the Trust shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the PA, and provide them and the ACHP with a copy of such written response.

2. The Trust's responsibility to carry out all other actions subject to the terms of this PA that are not the subject of the dispute remain unchanged.

X. AMENDMENTS

A. This PA may be amended when such an amendment is agreed to in writing by all signatories. The amendment will be effective on the date a copy signed by all of the signatories is filed with the ACHP.

B. Appendices A, B, C or D may be revised with the written agreement of the Trust, SHPO, and NPS without a revision being made to the underlying PA in accordance with an MOA and filed with the ACHP. Any such change will be documented in the Trust's annual report in accordance with Stipulation XIV.

XI. TERMINATION

A. Only a signatory party may terminate this PA. If any signatory party proposes termination of this PA, the signatory party proposing termination shall notify all other signatories in writing, explain the reasons for proposing termination, and consult with the other signatories for no more than thirty (30) days to seek alternatives to termination. Should such consultation result in an agreement on an alternative to termination, then the signatories shall proceed with an amendment to the agreement.

B. If within thirty (30) days (or another time period agreed to by all signatories) an amendment cannot be reached, any signatory may terminate the PA upon written notification to the other signatories.

C. Once the PA is terminated, and prior to work continuing on an undertaking, the Trust must either (a) execute a Memorandum of Agreement pursuant to 36 C.F.R. § 800.6, or (b) request, take into account, and respond to the comments of the ACHP under 36 C.F.R. § 800.7. The Trust shall notify the signatories as to the course of action it will pursue.

XII. DURATION

A. This PA shall become effective upon execution by the Trust, the SHPO, the NPS, and the ACHP and shall remain in effect until December 31, 2024, or unless terminated prior to that time in accordance with Stipulation XI, or unless it is extended for an additional period of time by mutual written agreement of the signatory parties.

XIII. DEFINITIONS

A. The definitions of terms appearing at 36 C.F.R. § 800.16 are incorporated by reference into this PA.

XIV. ANNUAL REVIEW AND MONITORING

A. On or before January 31st of each year so long as this PA is in effect, the Trust shall prepare and provide to all parties an annual report describing how the Trust is carrying out its responsibilities under this PA.

B. The Trust shall ensure that the Report is made available to the public and that potentially interested persons and members of the public are invited to provide comments to the SHPO, NPS, and the ACHP as well as to the Trust. At the request of the SHPO, NPS, or the ACHP, the Trust shall supplement this process through meeting(s) to address comments and/or questions.

C. The Report shall include, at a minimum:

1. A list of all undertakings reviewed under Stipulation IV.
2. Efforts to identify and/or evaluate potential historic properties, monitoring efforts, AMA or research designs, and treatment of historic properties.
3. Reports of any training given to Trust personnel pursuant to Stipulation II, identification of current Trust points of contact, and notification of any qualified personnel changes.
4. Any recommendations to amend this PA or improve communications among the parties.

D. The SHPO and NPS may monitor activities carried out pursuant to this PA, and the ACHP will review such activities if it deems necessary or is so requested. The Trust shall cooperate with the SHPO, NPS and the ACHP in carrying out their monitoring and review responsibilities.

EXECUTION of this PA by the Trust, SHPO, NPS, and the ACHP and implementation of its terms evidence that the Trust has taken into account the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

992 PROGRAMMATIC AGREEMENT
993 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,
994 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
995 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
996 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN
997 AND
998 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES
999 FOR AREA B OF
1000 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,
1001 GOLDEN GATE NATIONAL RECREATION AREA
1002 SAN FRANCISCO, CALIFORNIA
1003
1004

1005 SIGNATORY PARTY:

1006
1007 THE PRESIDIO TRUST
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1009

1010
1011
1012 Name:



1013
1014 Title: Executive Director
1015

1016 Date: April 23, 2014

1017 PROGRAMMATIC AGREEMENT
1018 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,
1019 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
1020 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
1021 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN
1022 AND
1023 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES
1024 FOR AREA B OF
1025 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,
1026 GOLDEN GATE NATIONAL RECREATION AREA
1027 SAN FRANCISCO, CALIFORNIA
1028
1029

1030 SIGNATORY PARTY:

1031
1032 NATIONAL PARK SERVICE: PACIFIC WEST REGION
1033
1034

1035
1036
1037 Name:

1038 Title:

1039 Date:

Christie Lehnert

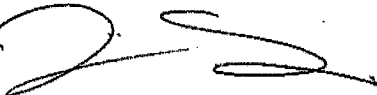
Reg. Dir.

4/24/2014

1040 PROGRAMMATIC AGREEMENT
1041 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,
1042 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
1043 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
1044 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN
1045 AND
1046 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES
1047 FOR AREA B OF
1048 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,
1049 GOLDEN GATE NATIONAL RECREATION AREA
1050 SAN FRANCISCO, CALIFORNIA
1051
1052

1053 SIGNATORY PARTY:

1054
1055 CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
1056

1057 
1058
1059

1060 Name: Jenan Saunders

1061
1062 Title: Deputy State Historic Preservation Officer
1063

1064 Date: April 25, 2014

PROGRAMMATIC AGREEMENT
 AMONG THE PRESIDIO TRUST, NATIONAL PARK SERVICE,
 THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
 AND THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
 REGARDING THE PRESIDIO TRUST MANAGEMENT PLAN
 AND
 VARIOUS OPERATION AND MAINTENANCE ACTIVITIES
 FOR AREA B OF
 THE PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK DISTRICT,
 GOLDEN GATE NATIONAL RECREATION AREA
 SAN FRANCISCO, CALIFORNIA

SIGNATORY PARTY:

ADVISORY COUNCIL ON HISTORIC PRESERVATION

Name: John M. Fowler
 Title: EXECUTIVE DIRECTOR
 Date: 4/29/14

APPENDIX A

REPETITIVE OR LOW IMPACT ACTIVITIES

The following projects are exempt from further review or consultation with the SHPO, NPS, and the ACHP under the terms of this PA.

- A. Maintenance of contributing buildings and structures which includes:
 - 1. Housekeeping, routine maintenance, building monitoring, and other such actions (such as repair/replacement of light switches, and rewiring existing fixtures in existing conduit, replacement of window putty) that do not damage historic fabric.
 - 2. Painting of historic structures (exterior and interior) to match existing color, consistent with approved Residential Paint Palette, or based on paint analysis by an architect or exhibit specialist.
- E. Maintenance operations for non-contributing buildings and structures in a historic district, except excavations and borings in archaeologically sensitive areas.
- F. Painting of non-historic buildings and structures (exterior and interior).
- G. Maintenance and repair or replacement of roofs or parts of a roof on historic and non-historic structures that are deteriorated beyond repair, when replacement matches existing or original material and design, and the Secretary's Standards, or maintenance scope of work that does not alter the integrity of the historic material.
- H. Grading of terrain adjacent to a building to achieve positive water runoff in areas not designated as archaeologically sensitive or having vegetation or other characteristics which contribute to the cultural landscape and would be affected by grading.
- I. Routine grounds maintenance such as grass cutting and treatment, maintenance of shrubs, and tree trimming, provided these activities are consistent with the Vegetation Management Plan and preservation of the cultural landscape.
- J. Maintenance of existing roads or existing parking areas, including repaving and grading, within previously disturbed areas, where the work does not affect the historic integrity and character defining features of roads that are historic properties.
- K. Rehabilitation, maintenance, or replacement of utility lines, transmission lines, and non-historic fences and walls within previously disturbed areas, not including known archaeological sites.
- L. Health and safety activities such as non-destructive testing for radon gas, asbestos, lead-based paint, lead pipes, and hazardous materials and wastes.
- M. Conducting non-ground disturbing elements of the applicable Integrated Pest Management program for control of pests such as termites, insects, and rodents.

N. Maintenance of existing facilities that does not involve new or additional ground disturbance (e.g., maintenance or replacement of guard rails, barriers, traffic control devices, light fixtures, non-historic curbs and sidewalks).

O. Maintenance (that does not change the configuration or appearance of the existing facilities) of existing electronic communication sites involving no ground disturbance.

P. Drilling test wells outside the boundaries of known archaeological sites for such purposes as water, slope stability, and detection of contaminants when continuous core sample is submitted to archaeology lab.

Q. Mitigation or abatement of hazardous materials where this can be accomplished without impact to historic integrity or character-defining features of historic properties in situations such as the following:

1. Removal of asbestos insulation from piping and around duct work in open areas;
2. Removal of damaged asbestos floor tile and replacement with similar non-asbestos tile;
3. Carpeting over damaged asbestos floor tiles which do not contribute to the historic significance of a structure;
4. Encapsulation of lead-based paint in window trim and molding where there is no change to appearance.

R. Conducting small-scale and select destructive testing in contributing buildings to expose and assess concealed structural conditions (such as removal of small areas of plaster wall finish) and/or to assess material capacities (such as masonry push testing or concrete slab coring) when performed in areas that are easily repairable or otherwise inconspicuous.

APPENDIX B

STANDARD ARCHAEOLOGICAL DISCOVERY PROTOCOL

A. There are three types of discoveries that are covered by this protocol:

1. Human remains of Native American or other derivation.
2. Cultural resources that have the potential to be significant.
3. Cultural resources not requiring further consideration.

B. An unanticipated discovery refers to any situation where previously unidentified archaeological resources or human remains are encountered during ground-disturbing activities. Unanticipated discovery protocols apply to those archaeological finds that are exposed during construction or construction-related activities whether an archaeologist is present or not. All contractors will immediately report to the Trust archaeologist if archaeological materials are uncovered during construction activities. All contractors must cease operations within the vicinity of the find until the Trust archaeologist is consulted. Cultural materials should be avoided by all future project activities and protected in place until a decision about their potential significance can be made. The Trust may assume NHL or NRHP eligibility of inadvertently discovered archaeological features for purposes of this treatment. All materials are property of the Trust and are not to be taken for personal use or display. The removal of artifacts from federal land is a federal offense and can result in substantial fines and/or imprisonment.

C. Archaeological resources include, but are not limited to, stone, brick, and concrete building foundations, isolated historic artifacts, historic privy pits and household waste deposits, and items of Native American derivation such as stone tools, shell and animal bone waste, shell beads, and habitation areas. A more detailed list follows:

1. Human remains;
2. Concentrations of rock, ash, animal bone or shell;
3. Buried layers containing a dark, almost black or very dark brown soil often containing charcoal and shell fragments;
4. Concentrations of artifacts such as stone bowls, arrowheads, bone tools, shell beads, etc.;
5. Architectural foundations made of stone, brick, wood, or concrete;
6. Architectural fabric;
7. Concentrations or historic material such as fragments of glass bottles, ceramic dishes, old cans, metal hardware, or other obvious trash dumps;
8. Pockets of debris containing food remains (e.g. cut bone, seeds, pits); and

9. Other materials that do not qualify as archaeological resources might also be encountered. These include: subsurface utilities such as water or sewer lines, materials manufactured after 1950, and small concentrations of broken concrete, broken asphalt, modern aluminum cans or beer bottles, and/or unmarked, unmortared bricks that have been deposited as fill, if no other cultural materials are present. These are generally not considered significant finds but should be brought to the Trust archaeologist's attention to inform future oversight.

D. Human Remains

1. All project-related ground-disturbing activities at the Presidio are designed to avoid human remains. If human remains, funerary objects, sacred objects, or objects of cultural patrimony are inadvertently discovered they shall be protected in place and avoided by all project activities. Ground disturbing work in the vicinity of the find must immediately cease and the Trust archaeologist must be contacted. Presidio Archaeology Lab staff will notify the Trust's DFPO. If necessary, the Trust will notify the San Francisco Medical Examiner of the inadvertent discovery of human remains.

2. The immediate protection of human remains at the site shall be accomplished by

a) keeping any discovery confidential, and

b) securing the location to prevent disturbance of the remains and any associated materials.

3. The Trust archaeologist shall determine whether NAGPRA applies to the discovery and will ensure that the finds are treated in compliance with all requirements outlined at 43 C.F.R. § 10.4. Any materials not subject to NAGPRA will remain under Federal control.

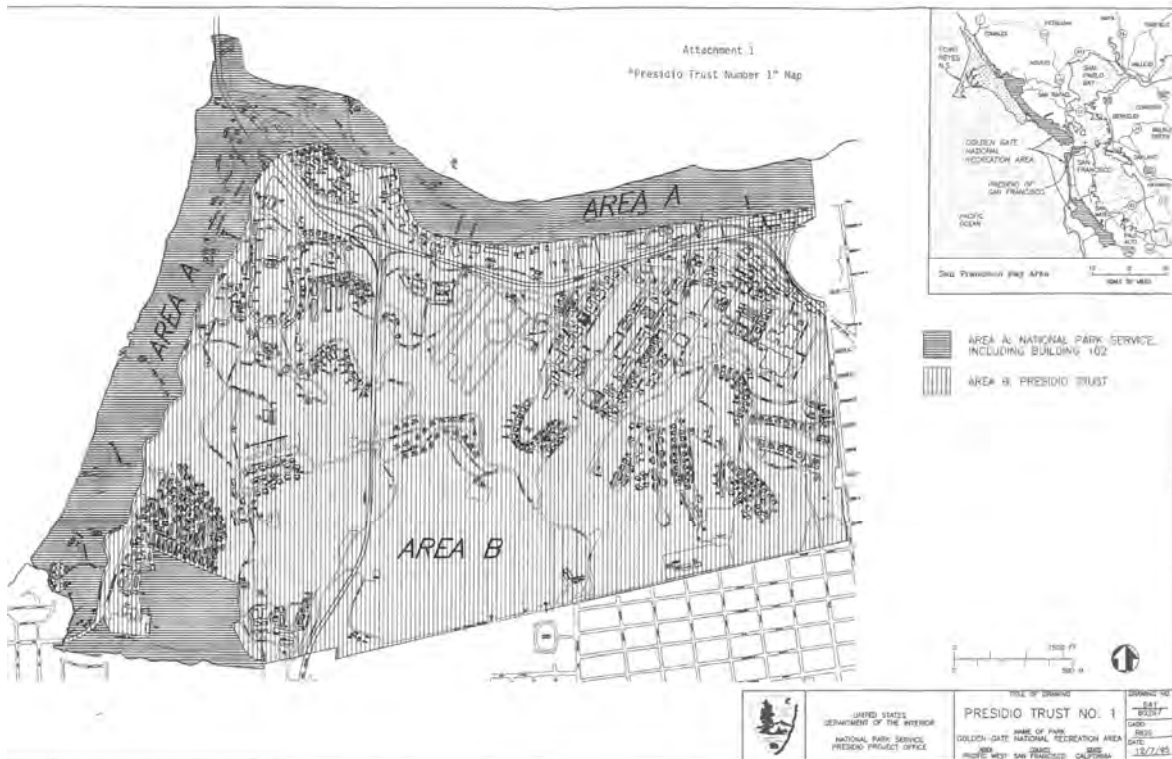
4. The Trust archaeologist shall determine whether the human remains are a single isolated burial or are potentially part of a cemetery or a larger archaeological site. This may necessitate the involvement of a consulting physical anthropologist. Articulated human remains, either as part of a single burial or larger cemetery, will be protected in place and avoided by all project activities. This may involve abandonment or redesign of the project.

5. If the discovery is limited to disarticulated human remains, the Trust archaeologist or a consulting physical anthropologist will direct necessary collection efforts. Further identification work may be necessary to determine the frequency of disarticulated human remains in the project area, and to determine an appropriate course of action. Any disarticulated remains collected from the site will be stored in archival boxes in a secure location until appropriate re-interment can take place. No human remains will be accessioned into the Presidio Trust Archaeological Collections.

APPENDIX C

AREA OF POTENTIAL EFFECT

“Presidio Trust Number 1,” dated December 7, 1995



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APPENDIX D
ARCHAEOLOGICAL AREAS OF THE NHLD

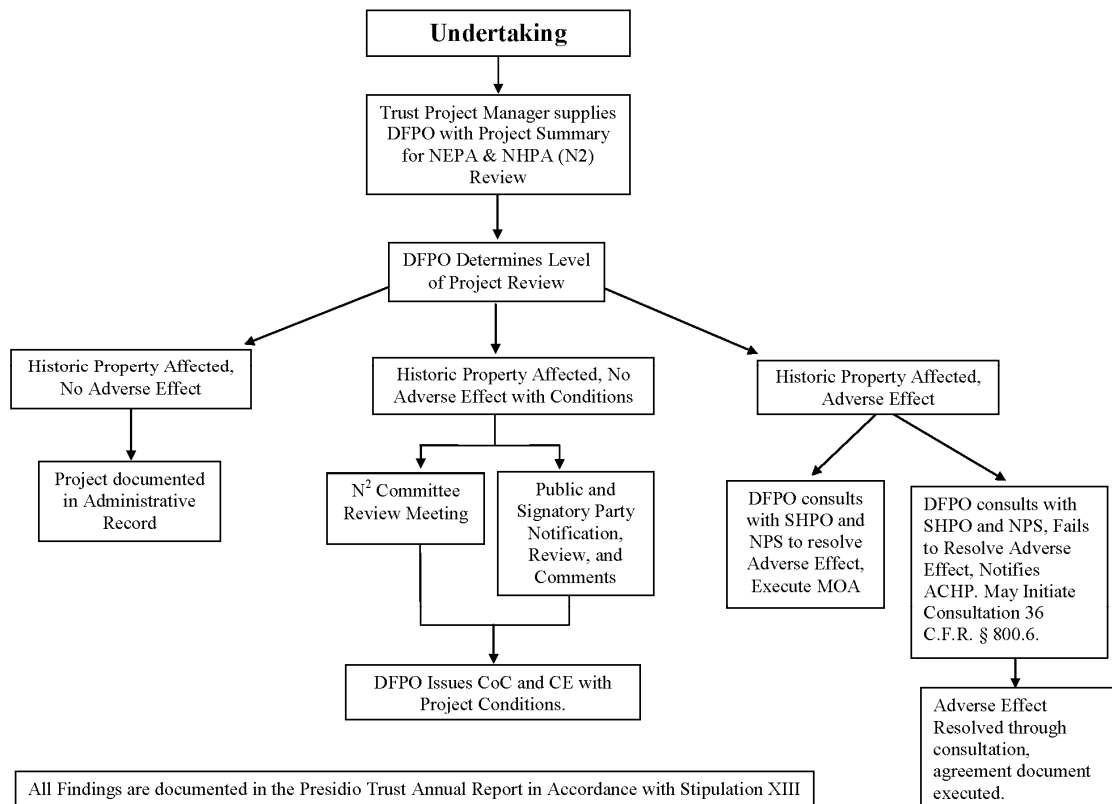


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APPENDIX E

N² REVIEW PROCESS

The Presidio Trust N² Process



APPENDIX F

LIST OF PARTIES NOTIFIED DURING THE CONSULTATION PROCESS (May – December 2013)

Concurring Parties to the 2002 PTPA, notified, comments requested on May 24, 2013 and November 15, 2013:

National Trust for Historic Preservation
Presidio Historical Association

Participating Parties to the 2011 Main Post Update PA, notified and invited to participate August 26, 2013:

National Trust for Historic Preservation
Presidio Historical Association
San Francisco Architectural Heritage
People for a Golden Gate National Recreation Area
National Parks Conservation Association
Sierra Club
Decendants of the de Anza and Portola Expedition
Neighborhood Associations for Presidio Planning
Cow Hollow Association
Laurel Heights Improvement Association
Marina Community Association
San Francisco Film Society
Interfaith Center at the Presidio

eNews Announcements to 9,000 subscribed members of the public on July 12, 2013 and November 20, 2013, notifying them of the process and inviting comment



2016 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit B: The Presidio Trust N² Review Process to achieve compliance with the **National Historic Preservation Act (NHPA) and the National Environmental Policy Act (NEPA)**

N² PROJECT REVIEW

Determining whether NHPA applies to a project

Under the National Historic Preservation Act (NHPA) and the Presidio Trust's Programmatic Agreement (PTPA) with the National Park Service, State Office of Historic Preservation and the Advisory Council on Historic Preservation, prior to any undertaking, the Trust must "take into account the effect of the undertaking on any district, site, building, structure or object that is included in or eligible for inclusion in the National Register." (16 U.S.C. 470f)

Determining whether NEPA applies to a project

Under the Trust's National Environmental Policy Act (NEPA) regulations, any individual or group seeking "to demolish, construct, reconstruct, develop, preserve, rehabilitate, or restore real property within the Presidio Trust Area" is subject to NEPA review (§ 1010.3).

PROJECT SCREENING FORM for NEPA and NHPA

The Project Screening Form (Appendix B) is available on the TrustNet, the Presidio Trust's (Trust) internal web site. The Trust compliance team uses the screening form for pre-review consultation, which helps to identify the potential for environmental impacts and adverse effects to a historic property that may result from proposed activities. Projects reviewed by the N² team are those that are anticipated to receive a Categorical Exclusion (CE) and a Certificate of Compliance (CC), which certify that there will not be an adverse effect to historic resources and that environmental impacts will not be significant. A flow chart in Appendix C provides a visual representation of the N² process.

Project managers are required to fill out a Project Screening Form for any activity that is subject to N² review (based on the criteria described above). The intent is to provide the resource specialists tasked with reviewing projects for NEPA and NHPA compliance with detailed information about project proposals prior to the N² review meeting. The form has six information sections and 22 questions that address whether the potential for environmental impact or potential for adverse effect to historic property exists. The first part of the Project Screening Form summarizes specific project details, while the second part identifies potential effects. Part 2 of the screening form requires details about project-specific potential impacts on a wide range of resources, ranging from historic buildings to native plant communities.

Upon receipt of the project proposals, the Historic Preservation Specialist reviews the project proposal to determine the level of review required. Sometimes, consultation with only one or two resource specialists is required to certify that resources will not be negatively affected. This level of review is known as "administrative review." Complex or multi-phase projects (such as building rehabilitations) require full N² committee review. An N² submittal includes digital and hard copies of the screening form, along with attachments (usually drawings or maps), which must be submitted one week prior to the meeting.

N² MEETING

Project managers may use the weekly N² meeting to 1) review their project at the scoping stage in order to assist them in completing the proper documentation *or*, 2) present their project to the N² team for comments on projects requiring a planning record and compliance documentation. N² Meetings are held every Thursday at 10am, and agendas are distributed electronically to team members, PA parties and



2016 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit B: The Presidio Trust N² Review Process to achieve compliance with the **National Historic Preservation Act (NHPA) and the National Environmental Policy Act (NEPA)**

presenters in advance of the meeting. Members of the signatory and concurring parties to the PTPA may attend project review meetings and comment on projects under review. Project documents are also made available to the public in the Trust Library in building 103 (103 Montgomery Street).

The Presidio Trust N² Review Team is comprised of the following resource specialists:

Federal Preservation Officer (FPO): *Rob Thomson*
Historic Preservation Specialist: *Michelle Taylor*
NEPA Compliance Manager: *John Pelka*
Acting General Counsel: *Andrea Andersen*
Archeologists: *Eric Blind, Kari Jones, Juliana Fernandez, Edward DeHaro*
Senior Preservation Project Manager: *Christina Wallace*
Forester: *Peter Ehrlich*
Associate Director of Design/Historical Architect: *Rob Wallace*
Integrated Pest Management Specialist: *Christa Conforti*
Historic Landscape Architect/Cultural Landscape Specialist: *Michael Lamb*
Natural Resources Specialists: *Lew Stringer, Jonathan Young*
Environmental Remediation Project Manager: *Nina Larssen*
Senior Transportation Engineer: *Amy Marshall*
Director of Landscape Stewardship, Public Safety & Municipal Services: *Salvatore Genito*
Interim Director of Municipal Services, Park Development & Operations: *Mark Helmbrecht*

Following a full-review N² meeting, Trust compliance staff will document meeting minutes and conditions required to support a Categorical Exclusion and Certificate of Compliance, and circulate minutes to the N² team, signatory and concurring parties via electronic mail for comment or questions. The minutes and conditions will reflect input from the FPO and qualified Trust staff, as well as comments received from signatory and concurring parties or the public. Within five business days following circulation of the meeting minutes and project conditions, final minutes will be distributed and the Certificate of Compliance and Categorical Exclusion will be executed for inclusion in the undertaking's administrative record.

CATEGORICAL EXCLUSION

The Categorical Exclusion Form is issued to the project manager as evidence of compliance with NEPA, but is not considered complete until all the conditions (for the purpose of avoiding any environmental impact) are met. A Categorical Exclusion is considered complete when all project conditions are signed off by the applicable team specialist or their designee. This documentation is generally required before going to Permitting. Some conditions apply to the construction period and are monitored and certified after permitting. When a project proposal is administratively reviewed, the same process applies and a project approval number is assigned in the N² database.



**2016 ANNUAL REPORT
OF NHPA COMPLIANCE ACTIVITIES**
Exhibit B: The Presidio Trust N² Review Process
to achieve compliance with the
**National Historic Preservation Act (NHPA) and
the National Environmental Policy Act (NEPA)**

CERTIFICATE OF COMPLIANCE

The Certificate of Compliance is issued to the project manager as documentation that a project will not have an adverse effect to the historic properties of the National Historic Landmark District (NHL) or the NHL itself. The Federal Preservation Officer, with input from the specialists on the N² review team can determine that a project 1) has no effect, 2) has no adverse effect or 3) has no adverse effect with stipulations. Stipulations constitute detailed requirements that will, when implemented, ensure that the project avoids any adverse effect(s) to historic properties. Stipulations must generally be met prior to implementation, unless specifically documented otherwise. The Historic Preservation Specialist often continues correspondence with project managers in order to document that stipulations are followed. A Certificate of Compliance is considered complete once all stipulations are signed off by the project manager, and it is returned to the compliance department. When a project proposal is administratively reviewed, a Certificate of Compliance is issued with a project approval number assigned in the N² database. Documentation of a completed Certificate of Compliance or administrative approval is required before going to the Presidio Trust Permitting Department.

All projects that receive Certificates of Compliance/Categorical Exclusions (under NEPA) are posted to the Trust's publicly accessible online database, available via its website (<http://www.presidio.gov/presidio-trust/planning/Pages/categorical-exclusions.aspx>).

**2016 Annual Report for NHPA Compliance Activities per the Programmatic Agreement Among the
Presidio Trust, National Park Service, the Advisor Council for Historic Preservation and the
California State Historic Preservation Office for Operations and Maintenance in Area B of the Presidio of San Francisco.**

Project Title

16-010 Cell Wi-Fi Pilot Project

Summary This project includes the installation of new equipment in Building 67 to support the proposed DAS (Distributed Antenna System) and Wi-Fi Augmentation Pilot Project in Building 42 (The Inn at the Presidio) and Building 50 (Presidio Officers' Club). The new antenna and augmented Wi-Fi will improve the cellular phone reception in these two buildings, both of which suffer from very poor cellular phone and Wi-Fi reception currently. The scope of work will include modifications to the three buildings. In building 67 (Telephone Exchange, 1919 with subsequent additions), equipment will be installed in the basement level (room B-211) and first floor level (room 114) in a non-historic addition. In order to install the equipment into the basement level an existing window opening in the east CMU wall will be enlarged to a door opening. At building 42 (BOQ, 1903), the Inn at the Presidio, work will occur on all 4 floors but in limited areas largely focused above the ceilings and in closets, with minimal penetrations. Conduit for the antenna will be run above the ceiling in the basement corridor; the conduit and antennae will span floors 1, 2, and 3 in back of house, closet locations and above the ceiling along corridors and in the stairwells. At building 50 (Officers' Club, 1776 with subsequent additions) the new DAS equipment will be installed in the existing telecom and the electrical/security closet on the first floor. The conduit for the antenna will be distributed above ceiling to the Moraga, Anza and Arguello rooms on the first floor and installed in discreet locations in the 1972 addition, using existing cable trays, or along ceiling beams. The new antenna will be located above ceilings or in obscured locations. Small computer room air condition units (CRAC units) may be installed for the telecom and electrical closets if post-installation measurements conclude that cooling is required.

Project Infrastructure

Project Manager: Christina Wallace

Submitted 1/8/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title
16-012 Building 36 Tenant Improvement

Summary The Presidio Trust is proposing to perform minor tenant improvements at building 36 (Barracks, built 1885) to accommodate a shared tri-agency office space for the Presidio Trust, National Park Service and Golden Gate National Parks Conservancy. Recently vacated by an office tenant, the Trust is proposing updating some fixtures and finishes such as new lighting fixtures, new carpet, a new telecom system, and painting. The project scope also includes adding a breakroom space on the ground floor, removal of a non-historic kitchen on the second floor, raising the floor of one room for universal accessibility, and adding key-card access at main entry points.

Project Title
16-013 Four Corners Landscaping/Turf Reduction

Summary As part of the Trust's efforts to reduce irrigated turf park-wide as a water conservation measure, this project proposes to replace approximately 0.34 acres of lawn located at the intersection of Presidio/Letterman/Lincoln (aka the Four Corners) with low-water groundcover and shrub plantings. The project involves reconfiguration of the irrigation in this area to support new plantings, installation of compatible new plantings using Bay Friendly guidelines, and the possible addition of 1 interpretive wayside to an existing wayside pad. Work will be performed by Trust crews and volunteer support, and staged from the adjacent building 558 parking lot.

Project Rehabilitation/TI

Project Manager: Jeff Eichenfield

Submitted 1/14/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Landscaping/Site Work

Project Manager: Kristin Maravilla

Submitted 1/28/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-014 Presidio Picnics / Twilight (Off the Grid) 2016 Season

Summary Picnics and Twilight are free events held on the Main Parade lawn on Sundays and Thursdays from Spring through the Fall. Sponsored by the Trust, the events provide outdoor, family-friendly entertainment and activities along with healthy as well as traditional picnic-type food for purchase. The events were initially piloted in 2013 and in 2015 welcomed 225,000 individuals and families to the park over the span of eight months. The substantial increase in attendance and the overall success of the events now require additional focus on crowd management and emergency preparedness; parking, traffic control and pedestrian safety; turf maintenance; sanitation; clean up obligations; and solid waste management. Proposed changes include physical alterations to the layout of the events, shortening of the season, programmatic enhancements and operational improvements, including implementing transportation demand management (TDM) and zero waste plans. Another focal point this year (beyond making the events more efficient and sustainable) is increasing audience awareness of the larger Presidio offerings. This will be achieved in a variety of ways including a new park presence at each event (for both the Trust and public-serving tenants) and reaching out to new audiences.

Project Special Events

Project Manager: Margaret Casey

Submitted 2/4/2016

Reviewed on: 2/11/2016

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-015 East Riley Avenue Capital Turns

Summary The project includes improvements for building 125B Riley Avenue, one half of a duplex building located on the east side of Riley Avenue. This row of three identical duplexes, numbered 124, 125 and 126, were built in 1909 for Non-Commissioned Officers housing and are contributing resources to the Presidio NHL. This short row of houses are the Presidio's smallest neighborhood and the last to receive a standardized plan for capital turn projects to rehabilitate kitchens and bathrooms in the units. The project will adopt a standard design for the upgrades, the scope of which includes removal of existing appliances and non-historic finishes (flooring, cabinetry, and accessories) that are at the end of their life-cycle, infrastructure upgrades, and installation of new energy efficient kitchen appliances and finishes. Additionally, the project will include replacement of non-historic floor mounted heating units with a new forced air heating system. The new heating system will include a new furnace in the basement, two furred out chases in the kitchen and east bedroom, a cold air return, along with floor and ceiling registers. Selective demolition will be needed to replace plumbing, rewire, and abate hazardous materials. This work is consistent with the capital turn work administratively approved for similar residential buildings from this era. The approved work will be a standard design for all buildings in the neighborhood.

Project Rehabilitation

Project Manager: Kevin Lorne

Submitted 2/2/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Title

16-016 Lincoln Boulevard Tree Removal

Summary Preventive maintenance work is necessary to improve the health of the forest and ensure public safety. This project will remove approximately 20 aged and declining trees and prune an additional 40 to 50 trees immediately adjacent to Lincoln Boulevard at the north end of San Francisco National Cemetery. Work will be performed by both Trust forestry staff and an outside contractor on behalf of the U.S. Department of Veterans Affairs according to specifications set by the Presidio's tree risk assessment program. Due to the difficulty of working immediately adjacent to the roadway, portions of Lincoln Boulevard from the National Cemetery entrance to the intersection of Park Boulevard and McDowell Avenue will be closed for approximately five weeks. A detour plan for all vehicles for the duration of the project will be implemented.

Project Trees

Project Manager: Jason Thurm

Submitted 2/17/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title **16-017 Presidio Boulevard Wood Fence Replacement**

Summary The Trust will remove and replace a non-historic wood fence along Presidio Blvd, parallel to the upper Simonds Loop residences (buildings 510 through 514 and Quarters 1). The approximate 900 lineal foot fence is in extremely poor condition, subject to periodic failure, and is unsightly. At 8 feet in height even the most basic repairs are expensive and complicated. The fence will be replaced with a new one of similar character along the existing alignment. This will provide security to the residents as well as greatly improve the experience of the park visitor traveling along Presidio Boulevard. Additional measures to prevent access to Shafter Road from Presidio Boulevard include filling in a section of metal guardrail and adding removable wood bollards.

Project Title **16-018 Fort Scott Parking at Upton and Ruckman Avenues**

Summary Parking regulations are part of the ongoing non-residential parking program that started in 2007. The goals of the program include ensuring that parking serves the needs of Presidio tenants, encourages vehicle trip reductions through mode shifts to walking, biking, transit and other higher occupancy vehicles, and generates revenue to support the provision of transportation services in the park. As Fort Scott becomes more active, parking management is necessary to ensure that parking supply remains adequate into the future. This project will install regulatory signage for parking along Upton Avenue across from buildings 1225-1226 and near buildings 1239-1241 on Ralston Avenue. Parking in the area will be regulated similar to other areas of Fort Scott, every day from 8am to 6pm for Zone 9.

Project Landscaping/Site Work

Project Manager: Michael Lamb

Submitted 2/23/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Transportation/Parking

Project Manager: Emily Beaulac

Submitted 2/29/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title **16-019 Coyote Research**

Summary Since 2002, coyotes have become reestablished in the Presidio after more than a half century absence. These animals can be associated with conflict and due to a variety of social and ecological factors will maintain an indefinite presence in the park. Many human-coyote conflict scenarios can be reduced and/or avoided through the design and implementation of context-dependent best management practices. Currently, a significant amount of contextual information that would support more informed management of these animals is lacking. This study seeks to elucidate essential information that will promote the reduction of human-coyote conflict within the Presidio. Coyotes are a difficult species to study and require advanced techniques such as temporary GPS collaring, permanent marking of individuals (ear tags) and health screening. In order to achieve this, humane capture and release of these animals is proposed. The design and methods of this project have been vetted by numerous experts and modeled on similar urban coyote projects across the country.

Project Title **16-020 Fisher Loop Native Landscape**

Summary This project will redesign and convert the 0.5-acre area within Fisher Loop from one dominated by exotic annual grasses to a perennial shrub dominated landscape using native dune plants. Volunteers will help to prepare the site by removing undesirable vegetation. Approximately 4,000 individual native plants will be planted. The intent of the project is to be aesthetically pleasing, low maintenance and non-irrigated.

Project Research/Testing

Project Manager: Jonathan Young

Submitted 3/10/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Landscaping/Site Work

Project Manager: Lew Stringer

Submitted 3/10/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-021 Annie Leibovitz Free Exhibition at Building 649

Summary Building 649 (US Army Reserve Center, built 1951) will be used for a photograph exhibit, Women: New Portraits, by photographer Annie Leibovitz. The exhibition will be the only west coast appearance of her portraits, which reflect the changing roles of women today. The exhibit will be located on the first floor large gymnasium space; all access to the basement and restroom facilities will be prohibited. The exhibition will use free-standing furniture, lighting and signage to supplement existing infrastructure. The existing building electrical system will be backed up by an on-site generator. Portable toilets will be onsite for the three-week duration. Patrons will be encouraged to bus, walk

Project Title

16-022 Home Land Security Temporary Art Installation in Building 1389

Summary FOR-SITE Foundation, an art-focused non-profit in partnership with the Trust, NPS and Conservancy, will present an exhibit titled Home Land Security in building 1389 (Fort Scott Chapel, c. 1941), a contributing resource to the NHL. Home Land Security will be installed in five sites at Fort Scott – only one of which is in Area B, the remainder being in Area A – that represent distinct chapters in United States military and political history. The exhibit will be comprised of recent works by twelve international contemporary artists that examine what it means to pursue safety and security in climates of fear, uncertainty, conflict and unrest. The exhibition’s cross-media artworks will “provide a global lens through which to consider the links between our recent history and distant past, revealing the political, economic and ideological machinations that underpin constructed notions of otherness, and propel humans towards safety both real and imagined in politically turbulent times.” The Area B project will include the installation of a projector and screen in the currently vacant building. A series of minor building improvements will allow for public access. The scope of work includes installation of fire and life-safety improvements, pest control, reconstruction of missing stairs at a second means of egress, window and door repairs, and creating a level surface at the entrance vestibule. During the exhibition, a trained staff of art guides will be on-site to answer visitor questions about the exhibitions’ themes, sites, artworks and artists. Visitors will be encouraged to walk among the five sites.

Project Special Events

Project Manager: Christie Schantz

Submitted 3/14/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Special Events

Project Manager: Amy Deck

Submitted 4/14/2016

Reviewed on: 4/21/2016

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-023 Lock Your Car Signs

Summary Several car break-ins where the perpetrators are breaking windows and taking the contents have recently occurred throughout the park. The United States Park Police have identified several areas where this activity has occurred including East Cantonment, Rob Hill, near building 1750 and the Mid-Crissy and West Crissy Field areas. Signs will be installed to encourage visitors to remove valuables from their cars. The panel is brown and white and measures 18 inches wide by 24 inches tall. A total of 31 signs will be installed on existing posts or downspouts in locations where previous activity has occurred.

Project Title

16-024 Emergency Operations Training on Fort Scott Parade Ground

Summary An emergency operations training activity will take place on the Fort Scott parade ground. Participating agencies will be the United States Park Police, San Francisco Police Department and the California Highway Patrol. A perimeter barrier and full personnel watch will be provided to prevent non-participating persons from entering the parade ground area during the exercise to assure the safety of all persons and property during the exercise. Occupants of the Fort Scott buildings or surrounding non-residential and residential areas will not be affected other than visual distraction and possible parking of additional law enforcement vehicles.

Project Miscellaneous

Project Manager: Pat Kaye

Submitted 3/24/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Research/Testing

Project Manager: Steve Potts

Submitted 5/3/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-025 Guidelines for Emergency Use of Glyphosate and Other Pesticides

Summary Glyphosate herbicides are not on the Integrated Pest Management (IPM) Program Pre-Approved Pesticide List. Therefore, except for emergency use, they cannot be used by Trust staff or contractors. The Trust acknowledges that there are some situations where limited use of glyphosate and other higher-toxicity pesticides may represent the lowest overall risk of harm to human health and the environment. The guidelines were developed and will be used to determine when an emergency use of glyphosate, or any pesticide not on the Pre-Approved Pesticide List, may be approved. The overall risk of using the pesticide will be weighed, using best available information, against the overall risk of alternative treatment options and the overall risk of no treatment. Appropriate steps will be taken to minimize exposure to applicators and the public in cases where the use of glyphosate, and other pesticides not on the Pre-Approved List, is permitted.

Project Title

16-026 Coyote Den Temporary Signage

Summary The Presidio Trust natural resources staff will be installing two temporary signs on Park Trail near an active coyote den. The signs will alert dog walkers of the temporary exclusion of dogs from the area. During coyote pupping season (spring-fall) the family group protects the area around the vicinity of the den from other canines that are seen as a threat to the pups' survival. Presidio Trust staff has seen a spike in reported coyote-dog conflict along the Park Trail this spring; removing dogs (on or off leash) from the area will reduce conflict significantly. The notification will be posted on temporary A-frame signs for the duration of the active den period; the expected current duration is four weeks. Staff will monitor den activity and remove the sign at their discretion. It may be necessary to re-use these temporary signs during future pupping seasons.

Project IPM

Project Manager: Christa Conforti

Submitted 5/24/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Miscellaneous

Project Manager: Jonathan Young

Submitted 6/17/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title
16-027 Montgomery Street Barracks Building 105 Rehabilitation for Lodging

Summary Facing the Main Parade Ground, building 105 is the northernmost in a series of five identical barracks buildings constructed between 1893 and 1897 on Montgomery Street, and a contributing resource to the Presidio NHL. The Trust plans to rehabilitate building 105 as a 42-room lodge at the nexus between the Main Parade ground, the future Visitor Center, and the future Tunnel Tops. The lodge’s central location will draw the public to the building, and provide a welcoming destination in the Main Post for both guests and the public. Guest accommodations will complement the 22-guestroom Inn at the Presidio (opened April 2012) and 4-guestroom Funston House (opened July 2013). Previous modifications to the building by the U.S. Army and the Federal Emergency Management Agency in the 1970s and 1980s resulted in a substantial loss of interior historic fabric and original floor plan. In 2015, the Trust removed non-historic partitions and hazardous materials, exposing the remaining original interior fabric (reviewed as project 15-041). The overarching approach to rehabilitation will be to retain existing or reconstruct missing historic features, and reestablish several significant historic spaces in order to support the new hotel program. The building rehabilitation approach will be guided by treatment recommendations in the Building 105 Historic Structure Report (May 2015), which was prepared to ensure consistency with the Secretary of the Interior’s Standards for Rehabilitation and avoid adverse effects. Publicly accessible spaces such as a lobby, lounge and dining room will be created on the first floor and the historic dual staircases will be restored. The remainder of the first floor, and the entirety of the second and third floors, will be used for guest rooms. Service functions will be primarily located in the basement with housekeeping closets located on each floor above. An at-grade patio in the rear courtyard will be available for guests and public enjoyment. The work scope includes completely new mechanical, electrical and plumbing systems, new fire protection systems, new interior partitions, repairs to historic windows and doors, an in-kind roof replacement, new acoustic upgrades and new and restored interior finishes. The seismic reinforcing scheme will use a combination of concrete shear walls at basement level and composite fiber strips at select locations on the interior face of the masonry walls (similar to the approach used in buildings 101 and 103). Exterior repairs, ADA improvements and landscaping will be consistent with the approach at previously rehabilitated Montgomery Street barracks, as well as treatment recommendations in the Main Post Planning & Design Guidelines and Cultural Landscape Report.

Project Rehabilitation
Project Manager: Rob Wallace
Submitted 6/21/2016
Reviewed on: 6/30/2016

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-028 Promenade Connector Trail

Summary This project will formalize a social trail that connects the intersection at Lincoln Boulevard and Ruckman Avenue to the Presidio Promenade Trail, a 2.1 mile trail running east-west from the Main Post to the Golden Gate Bridge. The spur trail will include steps descending from Lincoln Boulevard on the west to prevent erosion. Minor excavation/re-grading will be required on the slope. An aggregate base covered by tread on the flatter area will be installed that will connect to the existing Promenade trail.

Project Title

16-029 Hazardous Communication Program

Summary The Trust is committed to conduct all operations in a manner that protects the environment, and to minimize risk to the health and safety of its employees. Maintenance processes and other essential procedures often require the use of chemicals which have potentially hazardous properties. It is important that workers are aware of the presence/identity and toxicity or other hazardous properties of chemicals, and understand the appropriate precautions that must be taken when handling them. Further, OSHA (Occupational Safety and Health Administration) standards guarantee all workers the right to be informed about the chemicals that they may be exposed to on the job. The Hazard Communication Program applies to all Trust employees who routinely work with hazardous materials, and conveys information to all employees who may be exposed to chemical products in the work environment. The program includes provisions for chemical hazard determination, container labeling, material safety data sheets, safety data sheets, chemical inventories and employee training.

Project Landscaping/Site Work

Project Manager: Genevieve Bantle

Submitted 6/23/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Miscellaneous

Project Manager: Howard Rudolf

Submitted 6/23/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-030 Minor Tenant Improvements at Lone Mountain Preschool

Summary This project proposes cosmetic improvements at the ground level of building 1806 (Senior Enlisted Quarters, built 1932) for the existing tenant, Lone Mountain Preschool. The ground floor and garage of building 1806 were adaptively re-used by the tenant approximately twelve years ago. The scope of work involves replacing cabinets, flooring, and fixtures in the existing kitchen and art room and installing additional cabinet and storage space in the kitchen. The project aims to update and improve existing spaces that have experienced normal wear and tear over the duration of the tenant's occupancy.

Project Title

16-031 Lobos Stand IV Reforestation

Summary This project continues the Presidio's reforestation efforts by replacing 0.9 acres of declining cypress forest east of Baker Beach housing and north of the Baker Beach playground. Many of the trees that once occupied the area have died or otherwise failed. Approximately 20 trees will be removed by the Presidio tree crew. Select adjacent trees will be pruned for risk reduction and to reduce overhang of reforestation area. All brush and branches will be chipped into woody mulch for re-use throughout the park and wood will be cut into moveable lengths to be hauled out to the log storage area for later use or disposal. Tree stumps will be ground out, woody roots removed, compost will be added, the area will be tilled, irrigation will be installed and bio wattle will be laid as warranted perpendicular to slopes to prepare for replanting. Removed trees will be replaced mostly with Monterey pine. A few Pinaster pine and Monterey cypress will also be planted. The area will be maintained for approximately 7 to 10 years as an active reforestation plantation until both the new trees are established and the desired long term spatial density for the forest is achieved. During stand replacement, the playground will be closed on weekdays from 8am to 4pm for safety reasons.

Project Rehabilitation/TI

Project Manager: Aaron Klang

Submitted 6/20/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Trees

Project Manager: Jason Thurm

Submitted 7/15/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-032 Park Stand I Reforestation

Summary The Monterey cypress stand occurring within the broad loop of Park Boulevard west of the National Cemetery is one of the designated historic forest stands in the Presidio. The Park Stand has unusual visual quality and provides an important visual barrier to the National Cemetery. Trees in the stand are characterized with a very low percentage of live crowns, limiting the vigor of the old trees, and have now reached a state of over maturity. Trees on the windward margins of the stand have been subject to wind throw in recent years, and many leaning trees within the stand present windfall and wind breakage hazards to people using the pedestrian path through the forest. This project is the first of six phases (ending in year 2022) of the removal of the existing trees in the stand and the replanting and early management of the replacement stand. Approximately 40 declining cypress will be removed in a 1.6-acre zone in the southernmost portion of the stand. Tree stumps will be ground out or pulled (should Armillaria Root Rot be present), woody roots removed, compost will be added, the soil tilled, and irrigation will be installed. Removed trees will be replaced by approximately 200 seedling Monterey cypress trees. The seedlings will be planted on a 15-foot by 15-foot spacing with rows oriented north-south and east-west to emulate the initial planting by the U.S. Army. After 10 to 15 years, the trees will be thinned to a 30-foot by 30-foot spacing and pruned to prevent the stagnation that is evident in the existing stand. The Park Boulevard Trail through the area will be closed for public safety for the approximately 5-week duration of the tree removal.

Project Trees

Project Manager: Peter Ehrlich

Submitted 7/20/2016

Reviewed on: 7/28/2016

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-033 Infantry Terrace Water Distribution Replacement

Summary This project will replace and upgrade a section of cast iron water distribution main to provide increased flow performance into the southwest quadrant of the Main Post. An aging 6- and 8-inch cast iron water main will be replaced with a 10-inch ductile iron water main from the Infantry Terrace/Thomas Avenue intersection to the Moraga Street/Arguello Boulevard intersection. Approximately 1,200 feet of new water main will be constructed by typical open cut excavation methods largely in paved roadways with the exception of some connections to existing mains and services. Additionally, a new pressure reducing vault will be constructed in the grassy area on the east side of Infantry Terrace. The project is largely outside of archaeologically sensitive areas. However, the proximity to El Presidio will require monitoring on Moraga Avenue near the Arguello Boulevard intersection. Other known historic site features include a stone culvert along Infantry Terrace, a small section of which may require removal and repair. Traffic controls will be required during work hours. During non-work hours, excavations will be either plated or backfilled and traffic restored to normal. The work will be staged from the parking lot at 130 Fischer Loop.

Project Title

16-034 Mountain Lake Educational Signs

Summary Mountain Lake is one of the last natural lakes remaining in San Francisco. The lake was recently remediated and wildlife re-introductions have commenced. Today, the lake is again home to native wildlife like stickleback fish, chorus frogs and Western Pond turtles. The lake also provides food for many kinds of birds, shallow habitat for ducks and deeper spots for diving birds. The Mountain Lake Adaptive Management Plan (project 13-029), submitted to California Regional Water Quality Control Board, identified a commitment to educational signs to protect the ecological health of the lake. This project will design and install on-site educational and regulatory signs regarding the feeding of wildlife and abandonment of pets, and wayside exhibits on lake ecology. Eight waysides and five upright welcome and orientation kiosks will be installed in collaboration with the San Francisco Recreation and Park Department. All text information on the signs will be printed in four languages: English, Chinese, Russian and Spanish.

Project Infrastructure

Project Manager: Tom Mudd

Submitted 7/25/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Miscellaneous

Project Manager: Damien Raffa

Submitted 7/22/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-035 Temporary Verizon Cell Site #15-D

Summary Verizon is seeking to improve the coverage and capacity of their wireless network at the new Presidio Parkway tunnels. This project will install a new temporary facility in the parking lot of building 610 to accommodate visitors and commuters travelling through the tunnels. In 2011, the installation of temporary cell towers for Sprint, T-Mobile and AT&T at this same location was reviewed (project 11-052). Verizon's proposed design (including height and foundation type) is consistent with the existing facilities at the site. The project includes a 40-foot monopole with six panel antennas mounted at two different centerlines (32 feet and 38 feet). The monopole and equipment cabinetry will be placed on a cellblock foundation measuring 14 feet by 21 feet (2 feet above grade). The entire licensed area (20 feet by 27 feet) will be fenced within an 8-foot chain link fence with privacy slats. Like the existing adjacent cell tower sites, the new cell tower is a temporary facility for park users during construction of the Presidio Parkway.

Project Title

16-036 Emergency Replacement of Electric Service to Building 106

Summary A routine electric feeder replacement for Building 106 revealed that the existing electric conduit was broken and could not be re-used. The original scope called for using existing conduit for the new feeder installation without any ground disturbance. This project will construct a new underground conduit pathway. The work includes installing a new 4-inch conduit pathway from manhole 302 in Lincoln Boulevard to a transformer on the west side of building 106. A shallow trench in the off-pavement area behind building 106 will require hand digging and monitoring by a forester due to close proximity of a mature Cypress (#1800) tree. Building 106 will be on a temporary generator until the new feeder can be installed, an expected duration of two days.

Project Cell Sites

Project Manager: Steve Carp

Submitted 8/8/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Infrastructure

Project Manager: Tom Mudd

Submitted 8/22/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-037 Early Visitor Center Civil Site and Utility Work

Summary The future Tunnel Tops will be supported by an extensive utilities infrastructure (storm drainage, sewer, electrical and future recycled irrigation). Building 210 at the southwest border of the Tunnel Tops on Lincoln Boulevard is currently being rehabilitated as the NPS Visitor Center. This project will install utilities within the stretch of roadbed in front of the building (between Graham and Montgomery Streets) concurrent with the construction underway to avoid disruptions and detours to visitors after the opening of the NPS Visitor Center (planned for January 2017). Temporary erosion and sedimentation control and traffic control plans will be implemented prior to any land-

Project Infrastructure

Project Manager: Paula Cabot

Submitted 9/7/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Title

16-038 Cancellation of PresidiGo Shuttle Caltrain Connector Service

Summary Annual ridership on the PresidiGo Shuttle Caltrain Connector has been steadily decreasing for the past four years and the current ridership does not justify the expense of the service. Therefore, after careful consideration, the Trust has decided to stop service of the route. Resources will be used to improve other PresidiGo routes. Riders were contacted prior to making the change and announcements were posted in the shuttle. Riders were also provided with a list of alternative ways to travel between the Caltrain Station and PresidiGo stops.

Project Transportation/Parking

Project Manager: Emily Beaulac

Submitted 9/15/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Title

16-039 Disaster Response Exercise

Summary Each year during Fleet Week, emergency response and management professionals from local, state and federal agencies, and the Department of Defense train together as part of the Bay Area Regional Earthquake Response Plan. This year, the exercise will be conducted at the Presidio, and Trust staff will serve in supporting roles. The Main Post parking lot will be the site of a Community Point of Distribution (CPOD). During a disaster, food, water, medicine and other life sustaining commodities would be distributed to affected citizens at a CPOD. The exercise will last one day.

Project Special Events

Project Manager: Matt Kiolbassa

Submitted 9/27/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-040 Building 558 Parking Lot Improvements

Summary The parking lot at Building 558 formerly served as parking for the Trust's leasing office and nearby residential tenant overflow parking. Existing traffic control devices (e.g. parking signs) at the site will be updated to accommodate the new building uses as a bank and post office. In order to create more turnover, new parking regulations will include four 15-minute parking spaces, several 2-hour paid parking and four spaces that can be used by residents. A new concrete pad and parking meter will be installed on the north side of the lot to issue permits for the 2-hour parking. The lot will retain one existing handicapped space and one existing loading space. The two parking spaces adjacent to the existing EV charger will be stenciled "EV Charging." All new regulatory signs will be attached to existing poles. Additional day parking and overflow residential parking is available at the nearby YMCA Reach lot.

Project Title

16-041 Cell Site #18 - T-Mobile

Summary T-Mobile proposes to co-locate a new cell site near Building 1450 to improve the coverage and capacity of its network in the Presidio. The facility will include the addition of 9 new antennas and one 1 microwave on Verizon's new 130-foot lattice tower (project 15-019). A concrete pad will be poured within the 10-foot by 12-foot equipment area approximately 18 feet south of the proposed tower and will be surrounded by a 6-foot tall chain-link fence. Within the equipment area, T-Mobile will install 2 equipment cabinets, 2 equipment boxes and 1 electrical meter. All necessary power and telecommunications infrastructure will be placed inside the equipment area. The lattice tower will feature 9 panel antennas mounted at 116 feet above ground level. The proposed microwave dish will be mounted at 100 feet above ground level. A utility trench will be dug approximately 2 feet wide and 2 feet deep and will run approximately 30 feet from the west corner of the equipment area to just south of the tower. After construction is complete and the site is up and running, T-Mobile service technicians will typically visit the site once or twice per month for routine maintenance.

Project Transportation/Parking

Project Manager: Emily Beaulac

Submitted 9/27/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Cell Sites

Project Manager: Steve Carp

Submitted 9/28/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

16-042 Presidio Golf Course Bunker Rehabilitation - Holes 6, 7, 8 and 17

Summary The Presidio Golf Course was initially constructed in 1895 and is a contributing resource to the NHL. The existing bunkers (sand traps) on the golf course have poor drainage, hold water, do not reflect the historic character of the golf course, and create a customer experience inconsistent with the rest of the golf course experience. This project completes the bunker rehabilitation that began in 2011 and includes the rehabilitation of bunkers near holes 6, 7, 8 and 17 green complexes and fairway. The work includes the removal of existing sand, excavation to add new drainage, and construction of new bunkers. The new landform designs are reflective of golf course architecture in the 1920s and will be done in the spirit of the original 1923 Fowler and Simpson course re-design. Features will be constructed using excess soils from other Trust projects including Mountain Lake remediation.

Project Title

16-043 Building 38 Painting and Exterior Repairs

Summary Building 38 (former Enlisted Men's Barracks, built 1940) is a contributing resource to the NHL and is currently occupied by a long-term tenant. The tenant is proposing to perform necessary exterior repairs and paint the building. The 3-story, reinforced concrete, I-frame building in a simplified Spanish-Colonial Revival style features a smooth stucco-finish with decorative cast-stone balconies on the west elevation and open porches on the east elevation. The scope of work includes repairing small areas of spalling concrete, repairing or replacing (as needed) gutters and downspouts, and painting the building. All work will be reviewed by qualified Trust staff and

Project Golf Course

Project Manager: Brian Netz

Submitted 9/29/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Maintenance

Project Manager: David Davis

Submitted 9/13/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

17-001 Presidio Hill Diesel Spill Removal and Fuel System Upgrades

Summary This project will remove and dispose approximately 50 square feet of soil contaminated with diesel fuel from a fuel spill of approximately 40 gallons from the Presidio Hill Radio Site's (project 07-018) backup generator due to an equipment failure. Contaminated soil will be removed using an excavator and hand digging from the spill area to an estimated maximum depth of 36 inches. The removed soil will then be loaded into an end-dump truck for disposal at a certified waste disposal facility in accordance with applicable regulations. Fuel system upgrades will require the use of a temporary backup generator while the system is offline. In addition, following the excavation, fuel system upgrades will be made to the backup power system to provide a higher standard of seismic protection and containment from possible leaks and spills during operation. Upgrades will consist of seismic retrofits, pump relocation, pipe replacement, containment upgrades and alarm system enhancements. The San Francisco Regional Water Quality Control Board (SFRWQCB) is the regulatory agency performing oversight for this removal action.

Project Title

17-002 Building 39 Suite 102 Tenant Improvements

Summary Improvements will be made to building 39 (barracks, built 1940), suite 120 to accommodate a new office-use tenant (VMG Partners) in a suite formerly occupied by the Orphanage, a video game company. The work will include cosmetic changes including new carpet, paint, furniture, kitchenette and 6 modular work stations. A new private office will be introduced into the northeast corner of the suite with a transom detail. New lighting will be added and equipment installed by Orphanage including a ceiling mounted AC unit along with exterior condensers and associated connections will be removed. Penetrations in the exterior wall will be patched.

Project Remediation

Project Manager: Nina Larssen

Submitted 11/2/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Rehabilitation/TI

Project Manager: Aaron Klang

Submitted 10/26/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

17-003 Temporary Construction Office in Building 102

Summary Offsite short-term office space is desired to rehabilitate building 105 (project 16-027). The first floor, north wing of building 102 (barracks, built 1895) will be used for this purpose. The proposed space was previously rehabilitated by the U.S. Army, lacks all historic finishes (flooring, wall and ceiling finishes) and fixtures, and has been vacant for several years. The work scope includes new fire protection systems, electrical, telecom and replacement of non-historic plumbing fixtures. Additional scope items include adding two new partitions, carpet tiles, new acoustic tiles and painting existing gypsum board walls. The partitions will be removed upon completion of the building 105 project.

Project Title

17-004 Building 86 Suite 100 Tenant Improvements

Summary Improvements will be made to suite 100 of multi-tenanted office building 86 (barracks, built 1862, rehabilitated in 2004) to accommodate a new tenant. The work will include removing non-historic decorative plaster at columns and construction of new interior partitions with glazing to create an office, a conference room and a copier room. The space will be painted and existing lighting fixtures will be re-used in new locations within the space. The existing kitchenette will be updated with new flooring and cabinets, and a dishwasher and garbage disposal. The existing alarm system will be upgraded and a key-card access will be added at main entry points. No changes are proposed for the exterior of the building.

Project Rehabilitation/TI

Project Manager: Jeanne Miernyk

Submitted 11/15/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Rehabilitation/TI

Project Manager: Shemaiah Stanton

Submitted 11/28/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

17-005 Monarch Butterfly Habitat Enhancement at Rob Hill Campground

Summary Monarch butterflies are a long distant migrant that typically overwinter along coastal California. Overwintering habitat is an important part of the multi-generational migratory cycle of this species, a species that is very particular in habitat microclimate selectivity. Eucalyptus, a non-native tree, has been shown to provide excellent overwintering habitat in California due to the tree's physical structure and wind reduction dynamics. Dapple sunlight is another important factor that determines habitat suitability due to the Monarch's thermoregulation requirements. Rob Hill Eucalyptus forest is a known historic overwintering site with microclimatic factors relevant to Monarchs. In recent years, the trees have declined due to the natural progression of Eucalyptus forest growth and increased densities. A study conducted by Creekside Science (2012) analyzed the site's wind and sunlight dynamics, which was used to develop a habitat enhancement strategy. This strategy naturally aligned with general forest maintenance and necessary thinning for forest health. Approximately 30 small-diameter trees will be removed, thus thinning the canopy and increasing sunlight. Proximal patch densities will be left as-is in order to maintain a wind block. To maximize the lifespan of these habitat enhancements, the stumps of removed trees will be ground down to prevent re-sprouting.

Project Title

17-006 Battery Bluff Graffiti Removal Testing Program

Summary The Trust has contracted with Conservation Strategies to develop a graffiti removal testing program for the heavily vandalized historic concrete batteries located at Battery Bluff (Sherwood, Slaughter and Blaney). The program includes: testing chemical and mechanical cleaning techniques along with sacrificial coatings at select locations on the batteries; measurement of different techniques against pre-determined criteria including efficacy, scalability and environmental sustainability; and production of a report detailing recommended approach and budget for the future remediation of the three batteries. Work on site will be coordinated with the Doyle Drive construction management team and supervised by the Trust's conservator (PM).

Project Vegetation Restoration

Project Manager: Jonathan Young

Submitted 11/30/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Research/Testing

Project Manager: Christina Wallace

Submitted 11/28/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

17-007 Lincoln Boulevard Parking Meter at Battery Bluff

Summary Parking areas throughout the Main Post need to be managed to ensure consistency with existing regulations. Parking controls will be implemented at recently created parallel parking spaces along Lincoln Boulevard, north of the National Cemetery. These five regular and one ADA spaces were included in the design for the widening of Lincoln Boulevard as part of the Doyle Drive replacement. One parking meter and one parking sign will be installed on an existing light pole. The spaces will be time restricted to create turnover for visitors to the cemetery and Korean War Memorial.

Project Title

17-008 Landscape and Circulation Improvements at B767

Summary The landscape near the south end of building 767 Portola Street (NCO Housing, built 1950) will undergo minor improvements to increase privacy from a nearby section of the Tennessee Hollow Trail and the new Practice Field located just south of this building. Improvements will include removal of some walkways that connect public pedestrian trails to the building. The project will build new walkways that will separate the buildings from public trails while providing better pedestrian connections between Portola Street, the trail and the practice field. Work will include extending an existing boxwood hedge, modifying existing irrigation and transplanting 3 cypress trees in the residential landscape to provide screening between residences and public amenities. The work is scheduled to begin and be completed in January.

Project Transportation/Parking

Project Manager: Emily Beaulac

Submitted 12/2/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

Project Landscaping/Site Work

Project Manager: Michael Lamb

Submitted 12/22/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued

List of Projects Reviewed Through the N2 Process Under Stipulation IV.C.1

Project Title

17-009 103 First Floor Improvements

Summary The Trust completed a warm shell rehabilitation of building 103 in 2011 (08-028) and in 2012 the Trust moved their offices from 34 into 103 after installing finishes and mechanical systems (12-032). The Trust performed additional improvements accommodate public gallery space and Trust offices on the first floor in 2015 (15-025). This project will perform additional interior improvements needed to re-use the south first floor gallery space for assembly use for Trust sponsored seminars or presentations. Additional minor upgrades will be performed in the southern back room on the same floor to accommodate future office use. The scope of work will be limited to paint, carpet tiles and minor electrical work in the front room and additional electrical and AV conduit in the back room.

Project Rehabilitation/TI

Project Manager: Joanne Connery

Submitted 12/27/2016

Reviewed on: Administrative Review

Certificate of Compliance Issued



2016 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit D: Archaeological Research, Projects, And Program Highlights

In 2016, Trust archaeology staff provided NHPA compliance support for ongoing Trust operations, conducted elective archaeological research, and provided ongoing care and maintenance of previously excavation collections. This summary outlines Trust archaeology's efforts to comply with NHPA, including a list of all Archaeological Management Assessments (AMA) and Monitoring Plans (AMP) and Archaeological Identification Plans (AIP) issued in 2016 along with a summary of archaeological identification and monitoring completed. This report also outlines archaeologically-focused activities of the broader Heritage Program, which includes exhibition, public programs, research, collections management, education and training.

Archaeological Management Assessments, Identification, and Monitoring

Archaeology staff worked with Presidio Trust planning staff and cultural resource consultants to support several projects within the Presidio in 2016. An Archaeological Management Assessment (AMA) was completed for the Building 105 Rehabilitation Project. An Archaeological Identification Plan (AIP) was prepared for the Presidio Tunnel Tops (formerly Presidio Parklands) Project. Both archaeological management documents are appended to this report.

No Archaeological Monitoring Plans (AMP) were issued in 2016, but Trust archaeology staff provided archaeological monitoring support for eleven projects in the Presidio in 2016. Staff archaeologists monitored shallow grading for a new boardwalk on Pershing Square, an emergency water line repair on Arguello Blvd, design phase geotechnical and follow-up environmental testing for the Presidio Tunnel Tops Project, irrigation valve replacement on the Civil War Parade Ground, tree planting at Building 2, installation of new concrete footings at the archaeology field station on Pershing Square, MacArthur Meadow wetland restoration, tree planting at Buildings 6 & 8, installation of interpretive waysides on the Main Post, and an emergency electrical repair project at Building 106. No significant archaeological material was discovered during any of these monitoring projects in 2016.

No significant materials were inadvertently discovered in 2016, but archaeology staff responded to six reports of potentially cultural material. Inadvertent discoveries included a cobblestone path found during excavation for the new East Hills water distribution system, which was avoided by the project. More cobblestones were inadvertently discovered at a sewer repair on Ruger Street; these were determined to have been deposited as fill and not part of an intact landscape feature. The Lyon Street wall repair crew encountered a cache of artifacts, which archaeology staff determined were from the modern era and not archaeologically significant. An early twentieth century incinerator and a cannonball were discovered during remedial excavation at Lendrum Court. The incinerator was in very poor condition and was removed as landfill. The cannonball was collected by the Travis Air Force ordnance removal team. The discovery of two bones at the Paul Goode Field renovation project halted construction until archaeology staff were able to determine that the bones were canine (dog/coyote) vertebrae deposited as fill. Finally, archaeology staff responded to the discovery of marble grave markers in the landscape on Thomas Road. These markers were not *in situ* and had been used as landscape fill. They were reported to Dave Seabury of the Trust sustainability department which coordinates with National Cemetery authorities to dispose of the markers appropriately.

Trust contractor Pacific Legacy, Inc. completed archaeological testing required by the Tunnel Tops (formerly New Presidio Parklands) AIP in late 2016. Deposits that have the potential to contribute to the Presidio NHL were discovered during this testing. Pacific Legacy's draft report documenting



2016 ANNUAL REPORT OF NHPA COMPLIANCE ACTIVITIES

Exhibit D: Archaeological Research, Projects, And Program Highlights

these findings is attached for reference. Trust archaeology staff continue to work with the Tunnel Tops design team to ensure that all significant archaeological deposits are avoided by the project.

All archaeological material recovered from the Presidio is permanently curated in the on-site federal curation facility which meets the requirements of a curation facility as described in 36 CFR Part 79 – Curation of Federally-Owned and Administered Archeological Collections.

Archaeological Research and Project Highlights

Archaeological research in 2016 focused on *El Presidio de San Francisco*, the Spanish-colonial archaeological site and a contributing area of the Presidio NHL. El Presidio Archaeological Identification Season 2016: (ELPAIS 2016) is part of a long-term research project on Pershing Square in the Presidio's Main Post. The project follows the finalization of *Levantar* the Archaeological Management Plan for *El Presidio* in 2012, which details the management approach and archaeological methods involved for work at *El Presidio*, consistent with Stipulation II.H of the Programmatic Agreement for the Main Post Update (2010).

Excavation was concentrated in an area where Spanish and Mexican adobe structures were repurposed by the US Army until their eventual demolition in 1906. Investigations were conducted by Trust archaeology staff, a team of interns who received on-the-job training as part of the project, and volunteers who assisted in field and laboratory processing. 98 regular volunteers contributed more than 600 hours to the project. The investigations took place on Thursdays, Fridays and Saturdays between May and October 2016. A full report of ELPAIS 2016 is underway and will be completed in early 2017.

ELPAIS 2016 was conducted in accordance with the Lab's "open site" policy, which opens excavations to park visitors and encourages questions and active engagement with the archaeological team. Archaeology staff and interns developed interpretive signage, maintained a changing artifact display, and kept logs of their interactions with site visitors. A, lightweight, temporary "field station" tent helps identify the area as an archaeological project to passersby, and a team of archaeology docents were on site to offer visitors basic interpretation. Over 3,000 people visited the site in 2016.

Education

In 2016, the Heritage Program Education Team served a total of 2078 San Francisco Bay Area students in archaeologically-focused programs.

190 6th grade students participated in *Garbology*, a program run in cooperation with the Crissy Field Center and in partnership with the Golden Gate Parks Conservancy and the National Park Service. *Garbology* introduces students to the cycle of waste, from the small scale disposal practices evident in the archaeological record to the massive amounts of waste that occupy landfills today. Students are taught the benefits of composting through an introduction to the concept of archaeological taphonomy (what preserves and why).

980 4th grade students participated in *Excavate History*, which focuses on the Spanish colonial era and teaches students how archaeology can help us learn about the people who once lived at *El Presidio de San Francisco*. Through a series of hands-on activities, students investigate how the arrival of the Spanish colonists changed both the natural and cultural landscape of San Francisco.



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Exhibit D: Archaeological Research, Projects, And Program Highlights

900 2nd and 3rd grade students participated in *Thingamajigs and Whatchamcallits*, a field trip designed to introduce young students to the field of archaeology by providing them with an opportunity to explore past cultures by comparing and contrasting artifacts. Utilizing their observation skills, students examine historic images to learn about daily life during the Ohlone, Spanish and early American eras at the Presidio. Students then excavate dig boxes filled with replica artifacts and in small groups they classify their assemblage according to color, size, material and function. After collectively charting their data as a class, students reflect on the similarities and differences between people's daily lives throughout time and understand that although cultures use different artifacts for shelter, clothing, food, work, play, and transportation all humans share these similar needs.

In addition to educational outreach a number of programs were organized this fall for the general public. On October 15th, 2016, the Presidio Archaeology Lab celebrated International Archaeology Day and California Archaeology Month with a Lab open house and youth programming. Archaeology staff, interns, and volunteers welcomed more than 200 people into the Lab, answered questions, shared findings from the 2014-2016 excavations, and delivered programs to school-aged children. Staff archaeologists and interns also offer weekly tours of the archaeological site and lab, as well as a weekly three-hour open lab time allowing people to visit the lab, watch archaeologists work, and ask questions. Over 500 people participated in the Lab tour and open hours.

Training and Intern News

The robust field and laboratory program of 2016 supported six postgraduate internships. Recent graduates of the University College London, Ithaca College, University of California Berkeley, and the University of Southern Oregon and participated in the full-time residential internship program. They receive training in heritage management, archaeological field methods, laboratory analysis, collections management, museum development, and public education and outreach.



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Exhibit E: National Register Evaluations

2017 Plans for a Comprehensive Update to the Presidio of San Francisco National Historic Landmark Registration Forms

In 2017 the Trust compliance department will submit a funding request to comprehensively update the 1993 NHL forms by incorporating the draft 2008 update, as well as the Doyle Drive post-project NHL update into a single document. Scope development and cost estimating for this project is complete, and coordination with the Doyle Drive effort that is described in Stipulation III.A.1.l. of that project's 2008 PA is underway. The Trust will provide a courtesy notification to PTPA parties at such time as a budget is approved and draft scope of work prepared should they wish to provide suggestions on how to proceed.



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Exhibit F: Consultation under Stipulation IV.C.2
Review of EA's and EIS's

Consultation under Stipulation IV.C.2

While the Trust did not initiate any new consultations under Stipulation IV.C.2 of the 2014 PTPA (Coordination with an Environmental Assessment or Environmental Impact Statement Process) in calendar year 2016, consultation on the Tunnel Tops (formerly New Presidio Parklands) project continued over the course of the year. A summary of consultation activities for this project can be found in Exhibit G – Multi-Agency Consultation.



Doyle Drive Replacement Project

A Record of Decision and a Programmatic Agreement for the Doyle Drive replacement project were executed in 2008, concluding a multi-year consultation effort. Parties involved in design and construction efforts since that time have included the Federal Highways Administration (FHWA), Caltrans, San Francisco County Transportation Authority (SFCTA), National Park Service-GGNRA, California SHPO and the Trust, along with engineering, design and environmental consulting firms. In 2010, the state identified the project as a candidate for a public-private partnership (known as “P3”) to complete funding, design and construction. The remaining four contracts were included in the P3 package, and a concessionaire was selected in December 2010. Project planning, design development and preparations for historic resource protection measures according to the Built Environment and Archaeology Treatment Plans (BETP and ATP, both 2009) continued throughout 2016, as they had in previous years of the project.

Since 2009 Caltrans has convened monthly meetings of the Treatment Oversight Panel (TOP), a team of cultural resource specialists representing signatory agencies to the Doyle Drive PA. The TOP reviews and approves all activities implemented under the BETP, including: roadway design; documentation, stabilization and monitoring efforts for multiple built, landscape and archaeological resources; and other cultural resource documentation as required under the terms of the PA. This collaboration has proven to be a highly-effective partnership that will continue for the duration of the project. Construction on the P3-led portions of the project commenced in early 2013, continued in 2014, 2015, 2016 and will extend through most of 2017. The project submits detailed reports on a quarterly basis to all Doyle Drive PA parties under the terms of that agreement; what follows are highlights from work completed during the calendar year 2016.

Building 201

In 2013, P3 crews worked with the TOP and Trust staff to relocate and mothball building 201 (Quartermaster warehouse, 1897) from the west side of Halleck Street to a temporary storage location on the north side of French Court in order to construct the Main Post Tunnel. Now that the Main Post Tunnel has been built, work proceeded throughout 2016 to return 201 to its approximate pre-construction location, and rehabilitate it to a “warm shell” condition; a use-specific tenant fit-out will be overseen by the Trust at a future date. Throughout in 2015-16, Trust design, compliance and planning staff engaged with the P3 team and TOP representatives to complete rehabilitation plans for the building and its site. In the summer and fall of 2016 Trust compliance, design and planning staff worked with the P3 team in preparation for the building move and rehabilitation. The building move began in December after a new foundation was built, and was complete by the end of January 2017. Rehabilitation work began with the removal of non-historic vinyl siding, roof replacement, window rehabilitation and the first phases of structural strengthening. Work on the building will continue into 2017.

Other Doyle Drive-related project accomplishments in 2016 included:

- Restoration of portions of Lincoln Boulevard north of the National Cemetery and underneath the new High Viaduct, including removal of a temporary vent for the southbound Battery Tunnel.
- Resource documentation and development of design packages for the facility-wide landscape rehabilitation/restoration.



- Ongoing monitoring by the project's Cultural Resources team of buildings, landscapes and construction-related ground disturbance to ensure agreed-upon levels of protection for cultural resources in the NHL.
- Coordination of the Doyle Drive project schedule and commitments with the Trust's Tunnel Tops Project.
- Completion of research, drafting and preliminary layout for the project-wide Interpretative Wayside plan occurred in 2016. TOP will review interpretive signs prior to finalization and fabrication in 2017.
- The project's Cultural Resources team prepared the final Halleck Finding of Effect, which documented a series of previously unassessed effects concerning building 201, 228 and Halleck Street itself. The project submitted the FOE to the SHPO for review in January; SHPO concurred with its findings in May.

More information about the project, including images and time-lapse photos, can be found at the Doyle Drive/Presidio Parkway website here (<http://www.presidioparkway.org/>) and in the twice-yearly PA-status reports prepared by the project on behalf of FHWA/Caltrans.

Tunnel Tops (formerly New Presidio Parklands Project)

On August 29, 2014 the Trust initiated consultation under Stipulation IV of the 2014 PTPA on a landscape rehabilitation effort currently known as the Tunnel Tops project. Tunnel Tops encompasses a 14-acre area of the park comprised of the landscaped tunnel top at the north end of the Main Post, which will be created by the Doyle Drive/Presidio Parkway project, along with portions of mid-Crissy Field. The project will involve landscaping and public program development for this area of the park that emphasizes physical and visual connectivity between the Main Post and Crissy Field. The Trust is the lead agency on the project, and has partnered with the Golden Gate National Parks Conservancy (GGNPC) and the National Park Service in order to accomplish fundraising, design, program and public engagement goals.

The project includes the rehabilitation of National Historic Landmark-contributing building 603 (Post Exchange, 1939), construction of two new buildings (a Field Station and Classroom) to support Crissy Field Center program, and the replacement of non-historic building 211 (Cafeteria, 1968) with a building of equivalent size on Graham Street. The project scope also includes landscaping, paths, furniture, overlooks and interpretive installations to support the anticipated level of public use. The current schedule anticipates consultation on the project to conclude in 2017 so that construction of the Tunnel Tops can commence following completion of the Presidio Parkway project.

In 2014, the Trust along with our partners, conducted an extensive public process to select a design team for the parklands project. On December 9, 2014 the inter-agency selection committee selected James Corner Field Operations (JCFO) as the lead design firm. The project team spent much of 2015 developing concept plans for the project, which were further refined during 2016. Throughout the selection and pre-concept design process, the Trust and its partners have managed a robust public engagement program, including dozens of meetings and generating thousands of comments.

The public engagement program in 2016 included a full-time exhibit and project lab in the Trust headquarters (building 103) featuring project information and video presentations from JCFO. The program also included a series of public meetings, weekly site walks and comment opportunities. (See Exhibit L for additional information about our public outreach process.)



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Exhibit G: Multi-Agency Consultation Projects

The Trust also continued consultation with our PTPA partners throughout 2016. In March, the Trust responded to comments from PTPA parties and the public on the October 2015 Environmental Assessment (EA) and Preliminary Finding of Effect (FOE) with a response to comments matrix and supplemental design materials. Design guidelines for the Tunnel Tops site that were initially circulated to consulting parties in September 2015 for a 30-day comment period (per Stipulation III.B.2.a of the PTPA) were included in “Draft Final” format along with the EA and FOE for a courtesy review. After incorporating an additional round of comments from NPS and SHPO reviewers into the document, the Trust circulated a final version of the design guidelines in late March.

The Trust held a brief consultation meeting with NPS and SHPO staff in June, and shared supplemental project materials in June and October 2016. The Trust expects to hold a consultation meeting to resolve outstanding issues in February 2017.

More information about the Tunnel Tops project is available at: <http://www.presidio.gov/tunnel-tops>

Building 210: Presidio Visitor Center

A tri-agency partnership (GGNPC, NPS, Trust) selected building 210 (Guardhouse, 1900; rehabilitated for use as a retail bank and post office in 2001) as the optimal location for the new Presidio Visitor’s Center in 2013. In 2014 the Trust and its partners began preliminary planning for the new Presidio Visitor’s Center facility, preparing conceptual designs for the building reuse and exhibits and completed schematic drawings at the close of 2015. The Trust reviewed the project under Stipulation IV of the PTPA in December of 2015 and construction on the project proceeded throughout 2016. The new Visitor’s Center opened to the public in late January 2017.

Presidio Trust Programmatic Agreement (PTPA, 2014) Amendment

In September Trust CEO Jean Fraser notified PA parties of several changes to roles and responsibilities as defined in Stipulation I.A.1 and 2 of the PTPA. While the previous Executive Director held the title of Trust Federal Preservation Officer, Ms. Fraser appointed Rob Thomson to the FPO role, eliminated the Deputy FPO title, and replaced the Executive Director title with Chief Executive Officer. These changes were reflected in an amendment to the PTPA that was circulated to signatory parties on September 23. The SHPO signed the amendment as proposed on January 6; the Trust expects to secure the NPS and ACHP signatures in early 2017 and publish the final amendment in next year’s annual report.

Main Post Update

Consultation on the Main Post Update, which began in November of 2007, was concluded in October 2010 with the execution of an agreement document by the Trust, the ACHP, NPS and SHPO. In addition to the signatory and invited signatory parties, the San Francisco Architectural Heritage (SFAH), the National Trust for Historic Preservation (NTHP), the Neighborhood Associations for Presidio Planning (NAPP), the Marina Community Association, People for the Parks (PFP) and the Interfaith Center of the Presidio signed the PA-MPU as concurring parties. A summary of the status of PA-MPU projects as of the end of 2016 is included below:



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Exhibit G: Multi-Agency Consultation Projects

PA-MPU Projects Currently Underway

PA-MPU Amendment – In June 2015 Trust initiated consultation with the SHPO, NPS and ACHP to develop an amendment to the 2010 PA-MPU. The amendment creates a process by which projects under Appendix K of the PA-MPU can pursue Federal Historic Preservation Tax Credits while meeting other project-specific commitments from the PA-MPU. In November 2015, the Trust and signatory parties presented the draft amendment language to concurring parties for their review. Following agreement on the amendment language among the signatory parties, the Trust circulated the amendment for a 30-day public comment period beginning on December 23; no comments were received. The Trust circulated the amendment for signatures on January 28, 2016 and it was fully executed by March 3.

Presidio Theatre (Building 99) - A team has approached the Trust with a proposal to rehabilitate the Presidio Theater (building 99) for use as a live performance venue using Federal Historic Preservation Tax Credits. In accordance with the new PA-MPU amendment, the Trust circulated a consultation package on March 4 that included an archaeological management assessment (AMA) for building 99, confirmation that an HSR had been completed, an announcement for a public information session and an assessment of indirect and cumulative effects for the project (not adverse). Approximately 30 members of the public, including concurring and signatory party representatives, attended the meeting on April 5 at the Theatre building. The Trust received concurrence from the NPS on its determination of indirect and cumulative effect; the SHPO's office did not respond within the comment period stipulated under the PA-MPU.

In the months following the submittal of the March package, the project proponent revised the design to address comments from the SHPO and NPS tax credit review staff. Accordingly, on November 16 the Trust circulated a supplemental package to all PA-MPU parties summarizing the revised design and reiterating its finding of no adverse indirect and cumulative effects. On January 13 the NPS-TPS conditionally approved the project's Part 2 application, allowing the project to proceed pending the outcome of ongoing lease negotiations. The Trust thanks all parties for their participation in the process to date, and hopes to include updates on the project's construction progress in the 2017 annual report.

Other Projects Completed under the PA-MPU in Years Prior

Pilot Project: Interpretive Landscape Treatment for El Presidio – Spanish Chapel Site (2013) – Installation was completed fall 2013.

Main Post Cultural Landscape Report (July 2012).

Chapel (building 130) Historic Structure Report (May 2012).

Levantar – the Archaeological Management Plan for El Presidio (April 2012).

Updated Main Post Planning & Design Guidelines (June 2011).

West of Main Parade Cultural Landscape Report Focused Study (June 2011).

Archaeology Lab & Curatorial Facility – Construction began in early 2011 and the facility opened in 2012.



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Exhibit G: Multi-Agency Consultation Projects

Taylor Road Parking Lot – Construction began in October 2011 and was completed in 2012.

Building 99 (Presidio Theatre) Historic Structure Report (2015)

All completed documents related to the Main Post Update can be found on the Trust's website, posted to this page:

<http://www.presidio.gov/presidio-trust/planning/project-documents>



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Building 99 (Presidio Theatre)

In 1939 the army constructed Building 99 as a single screen movie theatre and assembly space using WPA funds. The building remained in use as a movie theatre up through the departure of the army in 1994. In 2015, the Trust began negotiating with a prospective tenant regarding their plans to rehabilitate and adaptively reuse the Presidio Theatre as a live performance space using the Federal Historic Preservation Tax Credits. The proposal includes a full seismic, code, life safety and systems upgrade of the theatre, addition of two small pavilions on the west side of the building, a rear addition, build out of the currently unfinished basement/crawl space for back of house uses, restoration of select interior finishes and features, and relocation of the proscenium in order to extend the stage depth to accommodate the new live performance use.

In January of 2016, the Trust and signatory parties finalized an amendment to the Programmatic Agreement for the Main Post Update (PA-MPU) to create a process by which projects previously reviewed under the PA-MPU could pursue Federal Historic Preservation Tax Credits. The project proponent submitted a combined Parts 1 and 2 application to the California Office of Historic Preservation (CA OHP) and National Park Service-Technical Preservation Services (NPS-TPS) in March 2016. The Trust held a public meeting and accepted comments on the Theatre proposal per the terms of the amended PA-MPU in March and April. A revised Part 2 was submitted in the fall of 2016 in response to comments from the OHP and NPS-TPS. On January 13, 2017 the NPS conditionally approved the project's Part 2 application, which will allow the project to proceed pending ongoing lease negotiations. The Trust looks forward to including construction updates for the project in the 2017 annual report.



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This section includes summaries of building projects managed, or primarily executed, by Trust staff. The list includes full rehabilitation projects, as well as conservation projects and scheduled/completed maintenance. The projects listed below were either commenced or completed in the calendar year 2016, or had the vast majority of the work performed during the year.

REHABILITATION & TENANT IMPROVEMENT PROJECTS

Riley Avenue Residences Landscape Enhancement

The Riley Avenue neighborhood (built 1909 and 1931), consisting of just six duplex structures, is one of the last historic residential areas in the Presidio to receive landscape improvements. The Trust designed the rehabilitated landscape to follow guidance in the West of Main Parade Cultural Landscape Report (2011) and to reflect the Liggett and Portola residential neighborhoods, which feature identical buildings. The scope of work included new irrigation and lawn areas, ornamental foundation plantings, replacement of non-historic fencing and storage sheds. In anticipation of the future loss of several mature, declining Monterrey cypress that date to the early Army-era forest planting that preceded the neighborhood's development in 1909, the new landscape includes several forest species trees. The new design retained historic circulation features at the fronts and sides of the buildings; in the backs (typically out of view) the Trust added new concrete patios in accordance with treatments at similar neighborhoods. The scope also included rehabilitating the cobble runnel on the west edge of Ord Street (behind the west Riley Avenue homes) to match the treatment on the opposite side of the street. Work began in fall of 2015 and finished in the summer of 2016.

East Riley Avenue Capital Turns

In 2016 the Trust developed a standardized design to address necessary upgrades for a short row of historic duplexes built in 1909 for Non-Commissioned Officers and located on the east side of Riley Avenue. This row of three identical duplexes, numbered 124, 125 and 126, are the Presidio's smallest neighborhood and the last to receive a standardized plan for capital turn projects to rehabilitate kitchens and bathrooms in the units. When a tenant moved out of residential unit 125B Riley Avenue in early 2016, Trust Building Maintenance and Compliance staff toured the space and determined that many non-historic finishes, fixtures and mechanical systems needed replacing.

The project adopted a standard design for the upgrades that is consistent with the capital turn work administratively approved for similar residential buildings from this era. The scope of work developed and implemented at 125B included removal of non-historic kitchen finishes (flooring, cabinetry, and accessories) and appliances, and replacement with new energy efficient kitchen appliances and sustainable finishes. These two bedroom units include one full bathroom typically with historic finishes and fixtures. Each bathroom in these units will be assessed on a case by case basis to determine the condition and integrity of existing historic tile flooring, bathtubs and sinks (toilets are not original). All bathroom finishes and fixtures will be repaired and/or retained to the greatest extent possible; the finishes and fixtures at 125B were generally in good condition and retained. Replacement finishes and fixtures follow existing Presidio Trust guidance for compatibility and function within these spaces. The standard design scope implemented included replacement of non-historic floor mounted heating units with a new forced air heating system. The approved work will constitute a standard design for turning the remaining five units in the neighborhood as tenants move out and as funds are available.



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Historic Forest Rehabilitation

The Presidio's forest is the largest contributing feature to the Presidio of San Francisco National Historic Landmark District (NHLHD), and a major component of the Presidio's cultural landscape. The historic forest is part of an extensive designed landscape effort implemented by the United States Military in the late 19th and early 20th centuries. The Vegetation Management Plan (VMP, 2001) and the Historic Forest Character Study (2009) delineates the Historic Forest Management Zone, and together codify a comprehensive management and treatment plan for the resource. The treatment recommendations for the forest that have been in place since were developed in accordance with the Secretary's Standards for Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes. To date, the Trust has replaced 31 of approximately 300 total acres of historic forest in Area B.

In 2016, Presidio Trust foresters rehabilitated three areas within Historic Forest Zone. The first was .9 acres just east of Brooks Court, located south of the Baker Beach (Wherry) Housing area. This area had approximately 20 dying and declining Monterey cypress that were removed beginning in August. In December of 2016 the project planted approximately 100 trees, primarily Monterey pine along with a few Pinaster pine and Monterey Cypress. Trust tree crews pruned select adjacent trees to reduce risk and overhang in the reforestation area. The area will be maintained for approximately 7 to 10 years as an active reforestation plantation until the new trees are established and the desired long term spatial density for the forest is achieved.

The second project removed a group of approximately 20 aged and declining historic trees and pruned an additional 40 to 50 trees along Lincoln Boulevard just northwest of the San Francisco National Cemetery. This preventive maintenance work addressed safety concerns for vehicles and pedestrians along a main road through the Presidio. The work resulted in road closure along the stretch of Lincoln Boulevard from the entrance of the National Cemetery to the intersection at McDowell Avenue for the duration of the project (approximately 30 days). The work was performed in partnership with the U.S. Department of Veterans Affairs by Trust crews and an outside contractor in February and March.

The third project focused on reforestation of the Park Stand area located along Park Boulevard, just west of the National Cemetery. This iconic stand of Monterey cypress trees is one of the designated key historic forest stands in the Presidio and is much loved by the public. Poor soil conditions and wind has resulted in low percentage of live crowns, risk of limb breakage and near stagnant rate of growth. In collaboration with UC Berkeley's Joe R. McBride, Professor Emeritus of Landscape Architecture & Environmental Planning, the Trust developed a reforestation plan for the stand will be carried out in six phases over the next seven years. The stand will be replaced in such a way that its character defining features are maintained, while also improving the overall health of this distinctive portion of the historic forest.



A young volunteer planting a Monterey cypress seedling in the Park Stand. (R. Thomson)

This year's first phase removed trees at the south end of the stand to help deflect wind at the edges of the stand and to allow trees to fall away from Park Boulevard. Trust forestry crews removed approximately 40 declining cypress from a 1.6-acre zone in August and September followed by compost and irrigation trenching in late October. Trust staff and volunteers planted approximately 200 seedling Monterey cypress trees in December. The seedlings were planted on a 15-foot by 15-foot spacing with rows oriented north-south and east-west to emulate the original planting by the U.S. Army. After 10 to 15 years, the trees will be thinned to a 30-foot by 30-foot spacing and pruned to prevent the stagnation that is evident in the existing stand.

MacArthur Meadow

MacArthur Meadow is located within the Tennessee Hollow Watershed where the three creek tributaries in the watershed converge, forming a single channel under the historic Lovers' Lane Bridge before flowing north to the restored YMCA Reach, Thompson's Reach, Riparian Reach, (future) Quartermaster Reach and ultimately Crissy Field Marsh. Historically, the four acre site was a gently sloped marshland before the U.S. Army installed drainage channels and fill in the early twentieth century. Today, the area is a shallow, concave, kidney-shaped area that until recently was a dry meadow with a few wetland areas, historic rock-lined channels and an at-grade trail (Lovers' Lane).

In November of 2014, the Trust proposed a project to restore an ecologically functional, freshwater wet meadow and riparian habitat unique to the Presidio and San Francisco. The project scope included retaining the existing Lovers' Lane alignment with an elevated boardwalk similar to the boardwalk that was historically in this location. The new boardwalk design allows for protection of the extant historic masonry Lovers' Lane Bridge. The project also retains and/or incorporates contributing

landscape and drainage channels into the restoration plan, and followed a site-specific archaeological management assessment (AMA) and cultural landscape treatment recommendations from the Tennessee Hollow Cultural Landscape Assessment (2004) in order to avoid adverse effects to remnant historic resources.

In 2015, the project completed clearing, grubbing, and the removal of approximately 8 trees, primarily at the north end of the site. Non-native vegetation removal allowed for replanting with a diverse array of native wetland and upland plant species. In 2016, contractors completed finished grading and removal of below grade drainage culverts in order to “daylight” the water channels. Volunteers began planting the landscape with native plants in December; additional planting will occur in early 2017. Also in 2016, the Trust, in collaboration with the NPS, prepared text and images for five interpretive waysides that will be installed in 2017 as part of a larger interpretation plan for the project. The waysides will be installed adjacent to accessible viewing areas to help explain the rich cultural and ecological history of the area.



MacArthur Meadow in the early stages of re-planting in December 2016 (M. Taylor)

Eastern Tributary of Tennessee Hollow Tree Removal and Native Plant Restoration

The Eastern Tributary, located north of Paul Goode Field, has the longest stretch of exposed creek and riparian habitat still found in the Tennessee Hollow Watershed. Approximately half of the creek, however, is in a storm drain buried under (non-historic) Morton Street Field. The 2.0-acre project area surrounding the spring that feeds the creek contains a historic earthen dam and is dominated by non-native invasive plants, such as the Blue gum eucalyptus trees, and the native habitat is degraded. This project will substantially enhance the spring area in accordance with the Tennessee Hollow Environmental Assessment (2007) and the Trust’s Vegetation Management Plan (2001) with the removal of approximately 110 trees followed by replanting with native plants. The project scope ensures that the nearby earthen historic dam will be revealed, preserved and interpreted. The interpretation plan may include wayside signs explaining the history of the



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dam and the watershed. Tree removal began in December 2015 and will conclude in January 2016; Trust cultural resources staff performed site documentation of the earthen dam following underbrush removal in the summer of 2016.

Building 103 First Floor Improvements:

The Presidio Trust moved its offices into the Montgomery Street barracks building 103 following its rehabilitation in 2012. Prior to moving in the Trust completed work on the second, third floors and basement; portions of the first floor were left partially finished. In 2015, the Trust completed interior improvements needed to bring the first floor spaces up to code and ready for occupancy. In 2016, the Trust prepared plans to perform additional interior improvements needed to re-use the gallery space (former dorm room) for Trust sponsored seminars or presentations. Additional minor upgrades will be performed in the former south wing kitchen space on the first floor to accommodate future Trust office use. The scope of work will be limited to paint, carpet tiles and minor electrical work in the front room and additional electrical and AV conduit in the back room. Work will begin and end in January of 2017.

Building 36 Tenant Improvements

Building 36 (built 1885) is a two story, wood-frame building originally used as barracks but converted to office use as early as the first half of the 20th Century. In 2016, the Presidio Trust performed minor tenant improvements to accommodate a shared tri-agency office space for the Presidio Trust, National Park Service and Golden Gate National Parks Conservancy. Recently vacated by an office tenant, the Trust updated the telecom system and cosmetic finishes (light fixtures, paint and carpet). The project scope also included replacing non-historic finishes and fixtures at the ground floor kitchen space, removal of a non-historic kitchen on the second floor, removal of a non-historic wall on the ground floor and raising the floor of a second story space for universal accessibility, and adding key-card access at main entry points. Staff from all three agencies moved into the building in the fall of 2016.

Building 37 Capital Turn

Building 37, a former Administration Building constructed in 1941, is one of a handful of “temporary” buildings constructed in the Main Post district at the start of World War II. It is a simple two-story, wood-frame building that is currently used as a multi-tenant office building. In 2016 a long-term tenant of 15 years vacated the eastern third, both first floor and second, of Building 37. To lease out the space to one or more office tenants the Trust performed minor improvements that included updating non-historic bathroom finishes and fixtures, selective demolition of non-historic partitions, adding new lighting fixtures, new carpet and painting. The project scope also included updating finishes in an existing kitchenette on the first floor and adding a kitchenette and break room space for new occupants on the second floor.

Building 105 Rehabilitation for Lodging

Building 105 is one of five identical two-story, masonry buildings constructed in the late 1890s as barracks for two companies of 100 soldiers each. Research conducted for a Historic Structure Report (HSR) in 2015 concluded that building 105 was largely unchanged until the Vietnam War when the open-plan barracks were modified to accommodate private suites. Later in the Army era the building underwent significant alterations under a Federal Emergency Management Agency tenancy (along with neighboring building 104), for office use, resulting in a substantial loss of interior historic fabric and original floor plan. Following base closure, the building was largely vacant save for the Presidio Visitor Center which operated out of the first floor of 105 until 2015. (The Visitor Center is



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currently located in building 36, ahead of a final move to its permanent facility in 210 in early 2017.)

In 2015 and 2016, the Trust worked with a preservation architect to develop plans to rehabilitate building 105 as a 42-room hotel. The Trust hired the same operator as the 22-guestroom Inn at the Presidio (opened April 2012) and 4-guestroom Funston House (opened July 2013) to manage guest accommodations at building 105. The building rehabilitation was guided by treatment recommendations in the Building 105 HSR which was prepared to ensure consistency with the Secretary of the Interior's Standards for Rehabilitation and avoid adverse effects.

Work on the building began in December of 2016 and will continue through 2017, with a targeted opening of April 2018. The scope of work includes creating a lobby, lounge, and dining room in the historic entry and south dormitory spaces. Guest rooms will be built out in the remainder of the first floor and the entirety of the second and third floors. Service rooms and mechanical systems will be primarily located in the basement with housekeeping closets located on each floor above. Additional scope items include restoring the original dual staircases at the main entrance, exterior repairs, landscape improvements roof replacement, a full seismic upgrade, restoration of historic windows and the installation of an HVAC system.

Building 767 Circulation and Landscape Improvements

The landscape near the south end of building 767 Portola Street (NCO Housing, built 1950) will undergo minor improvements to enhance privacy from a nearby section of the Tennessee Hollow Trail and the new Paul Goode Field located just south of this building. Improvements will include partial removal of walkways that connect public pedestrian trails to the building. The project will build new sidewalks that will provide privacy for tenants and better pedestrian connections between Portola Street, the trail and the practice field. Work will include extending an existing boxwood hedge, modifying existing irrigation and transplanting three cypress trees in the residential landscape to provide screening between residences and public amenities. The work is expected to begin and be completed in January.

Korean War Memorial

In 2015 a local veterans' foundation and the Government of South Korea collaborated with the Trust to design a memorial to commemorate the Korean War and acknowledge the sacrifices made by its participants. The intent of the memorial is to educate all on the history of what is often termed the "forgotten war," convey the conflict's connection to the Presidio of San Francisco, and remind future generations about this conflict. The memorial site is located at the intersection of Lincoln Boulevard and Sheridan Avenue, west of the Riley Avenue residences, set within a contemplative garden. The memorial is fully accessible, includes interpretive waysides, a curvilinear plaza with granite memorial walls. The site includes benches sited toward the bay views to allow for remembrance and reflection. The memorial design was conceived to create a balance between privacy and openness, to both provide a reflective space and a sense of welcome. Landscape enhancements were designed to be consistent with the surrounding developed area and applicable guidance from the West of Main Parade Cultural Landscape Report (2011). The Trust developed plans for the memorial in 2015 and began site preparation and grading later that year. The Trust completed construction in 2016 and held an opening ceremony August 1, 2016.



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MAINTENANCE, STABILIZATION, and DOCUMENTATION PROJECTS

Preliminary Research for Halleck Street Planning and Design Guidelines

This summer the Historic Compliance Department was pleased to host graduate student Valentina Angelucci from Columbia University who is completing a dual Master's degree program in Historic Preservation and Architecture. Over a seven week internship, Ms. Angelucci greatly assisted the Historic Compliance team to research, survey and assess buildings 223, 224, 225, 227, 228, and 229, a cluster of Quartermaster buildings located on the northeast edge of the Main Post, and constructed between 1896 and 1910. Valentina's work will help the Trust make decisions around how to rehabilitate and activate the Halleck Street corridor in anticipation of opening this area to new uses following the completion of Doyle Drive. The Trust will continue researching this group of buildings through 2017. The research will culminate in a set of sub-district Planning and Design Guidelines that will supplement existing guidance prepared for the *Main Post Planning and Design Guidelines* (2011).

CYCLIC MAINTENANCE

Battery Bluff Graffiti Abatement Testing

In December of 2016, the Presidio Trust contracted with an outside materials conservation contractor to develop a graffiti removal testing program at Battery Bluff, a group of four historic coast artillery structures located north of the National Cemetery. The three exposed concrete batteries (Sherwood, Slaughter and Blaney) are heavily vandalized and require extensive graffiti abatement (the fourth, Baldwin, has been buried since 1937). The program includes: testing chemical and mechanical cleaning techniques along with sacrificial coatings at select locations on the batteries; measurement of different techniques against pre-determined criteria including efficacy, scalability and environmental sustainability; and production of a report detailing recommended approach and budget for the future remediation of the three batteries. Initial testing began in December and will resume in April of 2017. Testing results will be reviewed by the Trust's conservator and project manager, Christina Wallace, who will provide recommendations to Trust compliance and planning staff. Work on site will be coordinated with the Doyle Drive construction management team and supervised by the Trust's conservator (PM).

Simonds, Upper Kobbe, Riley and East Washington Residential Neighborhood Cyclic Maintenance

2016 cyclic maintenance work included homes along Riley Avenue along with three additional historic neighborhoods: Upper Kobbe, East Washington and Simonds Loop. Each building in these neighborhoods was assessed by maintenance crews to estimate repairs and preventative maintenance tasks. Trust crews communicated with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary's Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.

The six duplexes along Riley Avenue make up the smallest historic neighborhood in the Presidio. The Army constructed the three brick buildings (buildings 124, 125 and 126) on the east side of Riley Avenue in 1909 and added the three brick buildings (127, 128 and 129) on the west side of Riley in 1939. This neighborhood underwent some minor exterior envelope repairs in 2015 that continued into 2016, including selective repointing at building 125 and reconstruction of the non-historic water heater sheds at buildings 124, 125 and 126. Trust crews and contractors painted wood elements (porches, window frames and doors) at the six buildings in 2016.



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The Upper Kobbe neighborhood is located in the Fort Winfield Scott District and is comprised of former officers' houses and detached garages constructed between 1910 and 1915. In 2016, Trust building maintenance crews addressed exterior repairs at residential buildings 1330, 1332, 1334 and 1337. The work on these multi-story brick structures included carpentry repairs, particularly dry rot repairs around doors, windows, porches, railings and stairs along with exterior paint. Envelope repair occurred at the nearby brick, multi-car garage buildings (1325, 1327, 1335, and 1341).

The fifteen residential buildings at Simonds Loop are comprised of stucco-clad, two-story with basement single and double occupancy residential buildings constructed in 1940. The former officers' homes on Upper and Lower Simonds Loop included buildings 510-514, 517, and 530-539. Trust crews and contractors performed minor stucco patching, removal of obsolete exterior wires, and painting. Interior maintenance included performing interior mechanical, electrical and plumbing maintenance on the water heaters and other mechanical systems. Quarters 1 Muir Loop (General's House, 1941), a larger stucco-clad building located in the Simonds Loop neighborhood, received the same envelope and mechanical repairs as its neighbors, plus a roof membrane replacement on the tile roof.

The residential duplexes at East Washington include buildings 401-404, 406, 407, 409-414, 416, 417, 419-424, 428, 432 and 434. Trust maintenance crews assessed these former Officer Family Housing units, constructed in 1948, and determined that the exterior envelopes were generally in sound condition. However, they noted that the redwood framing around several rear flagstone patios had failed or undergone unsympathetic repairs. Trust carpenters assessed the patios and replaced the redwood borders as necessary.

Non-Residential Cyclic Maintenance

In 2016, the Trust performed cyclic maintenance on non-residential buildings 11, 12 and 13 Funston Avenue, all built 1862. These former officers' homes are two-story, wood frame buildings that underwent dry rot repairs, roof repairs and paint. Building 67, located just east of Funston Avenue, is a Trust occupied building constructed in 1919 with a c.1940 and c.1960 addition. Work at building 67 included minor exterior carpentry repairs and full exterior paint. In the Letterman District, building 558, a single-story stucco building received full exterior paint. Trust crews performed additional envelope repair at former radio buildings 1450 and 1451 (built 1942). Trust crews addressed exterior dry rot repairs, window repairs, and full paint was performed at these two Trust occupied buildings. Trust crews worked with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary's Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.

Non-Residential Roof and Gutter Repairs

The Trust performed roof repairs and gutter replacements at a small number of historic, non-residential buildings in 2016. This work included replacing the roofs, downspouts and gutters (as needed) of buildings 37 (Administration Building, built 1941), 1163 (Gorgas Avenue Warehouse, built 1919), 1340 (Ordnance Storehouse, built 1917), and 1451 (Radio Station Generator Building, 1943). Buildings 37 and 1340 also received minor exterior carpentry repairs of exposed wood elements as need. Trust crews communicated with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary's Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.



Building 651 as it looked in 2013 (Photo: Laura Matarese)

Buildings 651 and 951 Envelope Repair

In February, the Presidio Trust Building Maintenance Department in partnership with Compliance Staff began a scope of preservation maintenance on two vacant historic buildings: 951 (Bachelors Officers' Quarters) and 651 (Crissy Field Administration). Both structures are hollow-clay tile buildings clad in stucco and feature wood porticos/balustrades and tile roofs. Both were constructed in 1921 to support Army Air Corps activities at Crissy Air Field. The first of these, building 951 underwent repairs to the existing tile roof, exterior envelope repairs consisting primarily of dry rot repair and restoration of the wood balustrade and some window frames, covering windows with plywood, replacing gutters and downspouts, repainting the building and hazmat abatement in the basement. Building 651 underwent a similar scope of repairs, including roof repairs, new roof flashing at dormer windows, dry rot repair and restoration of the wood balustrade, full exterior paint and installation of new gutters and downspouts. Trust crews communicated with compliance and preservation planning staff throughout the project to ensure that all work met the Secretary's Standards and Trust compliance responsibilities for Appendix A activities to the PTPA.



Building 651 in 2017 (M. Taylor)

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Building 951 as it looked in 2013 (Laura Matarese)



Building 951 in 2017 (M. Taylor)



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Thornburgh District: Preservation Maintenance Phase II

The buildings within the Thornburgh district historically functioned as the “back of house” operations for the Letterman Army Hospital (first constructed in 1899). This utilitarian district included support structures such as a power house, industrial laundry facility, several warehouses and the psychiatric ward. The buildings in this area are largely unoccupied and, until recently, in need of general envelope maintenance. The Trust began addressing these preservation maintenance scope items in 2015 and continued these efforts in 2016. The combined scope of work for both years included paint stabilization, repairs to gutter and drainage systems, roof repairs, concrete spall repair and securing windows and other openings. The buildings addressed in 2015 and 2016 include: 1040 (Power House, built 1900); 1047 (Laundry, 1914); 1056 (Animal House, 1910); 1059 (Storehouse for Combustibles, 1915); 1060 (Medical Warehouse, 1916); 1062 (Storehouse, 1922); and 1063 (Warehouse, 1941). The preservation maintenance scope was designed to keep these buildings in good, secure condition pending identification of new tenants and development of rehabilitation plans. Trust planning and compliance staff collaborated with the building maintenance crew to develop and perform the scope of work.



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This section includes summaries of building projects managed, or primarily executed, by Trust tenants. The list below includes projects that were either commenced or completed in the calendar year 2016, or had the vast majority of the work performed during that year.

Building 558 Tenant Improvements

Building 558 (Post Exchange and Restaurant, built 1920) was rehabilitated in 1999-2000 for an office tenant. In 2016, two existing tenants, a bank and the US Post Office, moved into building 558 from their previously shared building (210). The new build-out divided building 558 into two unconnected commercial units without a shared common space. The bank occupies the western two-thirds of the building, and the US Post Office occupies the eastern third. To accommodate the new division of space and uses, the bank's scope of work included select removal of non-historic partitions, fixtures, and finishes in order to restore the open-plan character of what was originally the restaurant dining room. Additionally, both tenants constructed partitions to enclose secure spaces from public access (postal storage, ATM and cash room) and reconfigured the pantry and toilet rooms to provide separation and security between the two tenants. New lighting and power/data distribution, fire suppression, mechanical ventilation and heating systems were included to bring the building up to current codes and Trust standards. Early into the project selective removal of finishes in the USPS future lobby space revealed a historic tile floor in fair condition. The Trust worked with the tenant to expose, clean and protect the flooring for continued use in the public space.

The Trust performed limited site improvements to accommodate the public serving needs of a bank and post office include re-striping the parking lot to allow for mail truck deliveries, designated short-term parking for visitors and long-term parking for tenants. Additional site work included new lighting, new signage and a new ADA ramp within a non-historic hardscape. Interior and exterior work was performed in the winter and spring of 2016.



The newly exposed original tile floor in the current
US Post Office at building 558. (M. Taylor)



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Paul Goode Field

Paul Goode Field (built 1957) is a baseball/multi-use field measuring approximately 300 feet by 350 feet located north of the Julius Kahn Playground in a residential area at the southeastern corner of the Presidio. In response to a 2012 Request for Proposals (RFP), University High School proposed to develop and manage the facility as a multi-purpose sports and a practice field suitable for baseball, lacrosse, soccer, field hockey and softball. The new facility will also include a three-lane practice track with a long jump pit at the north end of the tracks. The existing natural grass will be replaced within the existing ball field's footprint with synthetic turf to increase hours of available play and reduce water and fertilizer use. The project includes replacement of the existing storage shed and restroom with new ADA-compliant restrooms and a storage building. Other improvements include an underground field drainage system, new dugout structures, fenced bullpens/batting cages, bleacher seating, an outdoor, partially-covered storage area, and new landscaping. Design of the landscape, ball field and site furnishings has been developed for compatibility with the character of the surrounding cultural landscape and in order to avoid affecting adjacent historic forest stands. In 2015, the Trust reviewed the planting plans to confirm that the species and stature of the specified plants were adequate to screen the new practice field from the adjacent Upper Portola residential neighborhood. The Trust also worked closely with the tenant and design team to ensure that no mature trees in the adjacent historic forest zones would be affected by the project. Site preparation began in late 2015 and work continued throughout 2016. The project is expected to be complete in the spring of 2017.

MISCELLANEOUS TENANT IMPROVEMENTS

The text below highlights some minor scope projects that were managed by Presidio tenants. All described projects are documented in Exhibit C.

Building 1389 Temporary Art Exhibit

In the fall of 2016, FOR-SITE Foundation, an art-focused non-profit, in partnership with the Trust, NPS and Conservancy presented an exhibit titled "Home Land Security." Located in the Fort Scott District of the Presidio, the exhibit occurred in four NPS buildings in Area A and one Trust building in Area B. FOR-SITE used these structures to exhibit the works of twelve international contemporary artists on the themes of safety and security. The Area B building, building 1389, is a wood-frame chapel building constructed in 1941. Previously vacant and mothballed (in 2009), the building required some minor improvements prior to public access. The scope of work included removing plywood from the sanctuary windows to allow natural light in, updating the fire life safety systems, reconstructing a missing rear stair as a second means of egress, window and door repairs and adding a temporary ramp at the front entrance for ADA access. Additional site work included the addition of an ADA parking space and crosswalk from the parking lot on Storey Avenue. Building work and the art installation began in the summer with a public opening in September 2016. The exhibit, which was free and open to the public, closed December 18, 2016.



Fort Scott Chapel, 2011 (Brian Vahey)

Presidio Golf Course Bunker Rehab

The Presidio Golf Course was initially constructed in 1895 and is a contributing resource to the NHL. In 2016, the Golf Course management team proposed improving existing bunkers (sand traps) near holes 6, 7, 8 and 17 that had poor drainage, held water, did not reflect the historic character of the golf course, and created a customer experience inconsistent with that of the rest of the golf course. This project was a continuation of a phased bunker rehabilitation program that began in 2011 and is expected to be completed in 2017. The work included the removal of existing sand, excavation to add new drainage, and construction of new bunkers. The new landform designs are reflective of golf course architecture in the 1920s and were done in the spirit of the original 1923 Fowler and Simpson re-design of the Presidio's golf course. The project was completed in 2016.

Building 649 Art Exhibit

In April 2016 the Trust was pleased to provide temporary space for a travelling photograph exhibit, "Women: New Portraits," by photographer Annie Leibovitz. The exhibit occurred in Building 649 (US Army Reserve Center, built 1951) in the first floor large gymnasium space and adjoining classrooms. The installation team took advantage of the open space and made only minor alterations to the interior of the previously vacant building. The limited scope of work included installing free-standing furniture, lighting and signage to supplement existing infrastructure. The existing building electrical system was backed up by an on-site generator. The free, public exhibit took place over a three week period in April.



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1806 Lone Mountain School Tenant Improvements

The existing tenant at the ground level of building 1806 (Senior Enlisted Quarters, built 1932) is a pre-school that has occupied the building for approximately twelve years. In 2016 the tenant updated the existing non-historic kitchen space and art room that were added during their original rehabilitation project. The scope of work was largely cosmetic and included replacing cabinets, flooring, and fixtures in both spaces and installing additional cabinet and storage space in the kitchen. Work was performed in August of 2016.

Building 38 Paint and Exterior Repairs

The long-term master tenant of Building 38 (former Enlisted Men's Barracks, built 1940) is currently performing necessary exterior repairs followed by painting the building. The three-story, reinforced concrete building features a smooth stucco-finish with decorative cast-stone balconies on the west elevation and open porches on the east elevation. The scope of work includes repairing small areas of spalling stucco finish, repairing or replacing (as needed) gutters and downspouts, and painting the building. All work was reviewed by qualified Trust staff and is being performed with Trust oversight. Work began in fall of 2016 and is expected to finish in early 2017.

Building 39 Suite 102 Tenant Improvements

The project was a tenant improvement of a first floor office suite of historic building 39 (Barracks/Sixth Army Headquarters, built 1940). The work included construction of a new private office with a transom detail along with painting, and installation of new lighting fixtures and carpet throughout the suite. Additional work included adding a kitchenette and six modular workstations. The tenant has also removed non-historic finishes, fixtures and telecom equipment installed by the previous tenant. This work included the removal of a ceiling mounted AC unit along with exterior condensers and associated connections. Penetrations in the exterior wall will be patched. The project was designed to preserve all existing historic finishes including original perimeter walls, windows, bull nosed window sills, concrete posts, and tile detailing found at the base of some walls and posts. Construction began and was completed in the fall/winter of 2016.

Building 102 Temporary Construction Office

The Trust has hired a general contractor to perform the rehabilitation of building 105 (see Exhibit I). Space will be limited during construction therefore rather than use a trailer, the GC will use the first floor, north wing of building 102 (barracks, built 1895) as a temporary office. An Army-era conversion to office use (1988) removed nearly all interior historic finishes (flooring, wall and ceiling) and fixtures; the building has been vacant since the NPS vacated in ca. 1996. To accommodate the new use, the GC added new fire protection systems, electrical, telecom and replaced non-historic plumbing fixtures. Additional scope items included adding two new partitions, carpet tiles, new acoustic tiles and painting existing gypsum board walls. The partitions will be removed upon completion of the building 105 project in 2018. All work was performed in December of 2016.

Building 86 Suite 100 Tenant Improvements

The Trust rehabilitated Building 86 (barracks, built 1862) in 2004 to accommodate multi-tenant office use. In late 2016 a new office tenant proposed performing minor improvements to accommodate additional work space and update non-historic finishes. Work will include modifying existing partitions added by a previous tenant and constructing limited new interior partitions. The new partitions will be constructed with glazing to better allow the space to read as single open volume. The



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tenant has proposed updating the flooring and cabinets in the existing kitchenette and adding a dishwasher and garbage disposal. The existing alarm system will be upgraded and a key-card access will be added at main entry points. Work is expected to be complete in January in 2017.



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This section includes summaries of training courses, accomplishments and preservation-related activities not associated with an undertaking. The list below includes activities that were either commenced or completed in the calendar year 2016, or had the vast majority of the work performed during that year.

California Preservation Foundation (CPF)

In 2015 CPF approached the Trust with a proposal to host its 2016 conference at the Presidio in order to highlight the park's preservation achievements in light of the 50th anniversary of the NHPA. Rob Thomson and Michelle Taylor served on the conference and program committees to help plan the event through the end of 2015 and into the spring of 2016. In addition to assisting with event planning, Rob and Michelle contributed to the development of conference workshops, tours and activities. Furthermore, additional Presidio Trust preservation and heritage staff volunteered to contribute to program development by leading a series of in-field case study discussions using Trust projects to illustrate subject matter from classroom workshops.

The CPF conference was held from April 16 to 20 at the Presidio's Main Post with the historic Golden Gate Club (1949) and Presidio Chapel (1932) serving as the primary venues. Rob Thomson, Michelle Taylor, Christina Wallace, Rob Wallace, Kari Jones, and Liz Clevenger each delivered talks at the conference alongside representatives from local, state and federal preservation organizations and private firms from around the state. The Trust prepared a self-guided walking tour of rehabilitated buildings and landscapes in the Main Post, along with staff-led tours of archaeological and interpretive features of the Presidio of San Francisco NHL.

Some of the highlights of Trust staff participation include:

National Historic Landmarks Stewards Meeting

This annual meeting was attended by national and state park stewards and included presentations by Trust preservation staff Rob Thomson and Rob Wallace. Rob Wallace focused his presentation on accessibility solutions applied to a number of Presidio buildings during rehabilitation projects. Rob Thomson followed up with a session on the Trust's method for rehabilitating historic wood windows. The windows session included demonstrations by two staff carpenters on the multi-step method of abating (lead paint), repairing and weatherizing historic wood sash windows. Their clear description of the process and sensitive approach to rehabilitating these windows thoroughly impressed the audience. Furthermore, the presentation highlighted some of the great behind the scenes work and innovation of our carpenters, many of whom have cared for our buildings since the inception of the park.

El Polin Springs: Habitat Restoration, Cultural Landscapes and Archaeology in the Presidio

Members of the Trust Archaeology and Heritage programs staff, including archaeologists Kari Jones and Juliana Fernandez and Collections Specialist Liz Clevenger, led an archaeology-focused walk around the Presidio. The tour included El Polin, a key water source and an important cultural landscape with Native Ohlone, Spanish, Mexican and United States Army periods. Beginning in 2012, the Presidio Trust has completed a series of projects aimed at rehabilitating the El Polín Spring area as a welcoming place to experience history and nature, or simply for park visitors to enjoy the outdoors. The area is now presented as a multi-layered cultural landscape and interpreted archaeological site. The tour group then toured the Presidio Trust's Archaeological Lab and Curatorial Facility and ended the tour in the Presidio's oldest structure, the Officers Club.



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Navigating Mandatory Seismic Retrofits

In collaboration with California Office of Historic Preservation Restoration Architect Mark Huck, Rob Thomson organized a day-long session on seismic retrofits for historic buildings. Following Mark's classroom session, Rob led a tour that examined seismic retrofits of unreinforced masonry buildings using the Montgomery Street Barracks as case studies. Joined by the project architects and engineers for each building, Rob led participants through four rehabilitated, nearly identical buildings (100, 103, 104 and 105, built 1895-1897), each of which had varying programs and different approaches to seismic retrofits. The discussion focused on the tradeoff's involved in selecting one strategy over another, and on successful methods for preserving historic integrity during seismic upgrade projects.

Adaptive Reuse in the Presidio's Main Post

Trust preservation staff Rob Thomson, Michelle Taylor, Christina Wallace and Rob Wallace hosted a two hour tour of the Presidio's Main Post. Together they presented a brief overview of the Presidio and the district's architectural history which began in 1776 with founding of El Presidio de San Francisco. The tour began with a visit to the El Presidio archaeological site, and the Spanish-era adobe portions of the Officers Club (building 50). The tour then continued with a history of the Presidio as told through representative examples from each of the post's successive waves of development through 218 years of military occupation. Attendees visited several milestone projects in the Main Post, including the Montgomery Street Barracks, the Inn at the Presidio, the Main Parade and the San Francisco Bay School.

National Preservation Institute (NPI) Classes

The Trust continued its partnership with the NPI by hosting three seminars in 2016. The first, a three-day seminar in May titled: "Section 106: An Introduction," provided on-going education for approximately 32 cultural resource professionals, including two Trust employees and two interns. In November, the Trust hosted two back-to-back seminars: "Section 4(f) Compliance for Historic Properties" and "NEPA Compliance and Cultural Resources." Approximately 15 professionals attended the first of these seminars and 27 attendees, including two Presidio Trust staff members and one intern, participated in the second seminar.

Federal Historic Preservation Tax Incentives Program Review

In 2016, Michelle Taylor was fortunate enough to attend a biennial workshop hosted by the National Park Service for SHPO reviewers of the Federal Historic Preservation Tax Incentives Program. This two and a half day seminar with an additional half-day for new reviewers was held July 11-14, 2016 in Washington, DC. In addition to providing an overview of the program, the workshop was an opportunity for reviewers to focus on common reviewing challenges, best practices and offer lessons learned in case studies from across the country.

Historic Preservation Compliance Intern

The Presidio Trust Historic Compliance team was pleased to host Valentina Angelucci, a first-year graduate student from Columbia University completing a dual Master's degree in Historic Preservation and Architecture. Over a 7-week internship this summer



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currently vacant buildings. The Trust will continue researching this group of buildings through 2017. The research will culminate in a set of sub-district Planning and Design Guidelines that will supplement existing guidance prepared for the *Main Post Planning and Design Guidelines* (2011).

Educational Tours at the Presidio

In 2016 Rob Thomson, Rob Wallace, Christina Wallace, Michelle Taylor, and Michael Lamb and others provided educational tours and presentations at the Presidio for a number of peers in the preservation and built environment professions. These tours showcased the successes and lessons learned through preservation efforts at the Presidio.

Association for Preservation Technology (APT) Annual Conference

Christina Wallace served on the selection committee for student scholars to attend the 2016 APT Conference held in San Antonio, Texas. The conference continued the APT tradition of setting the standard for preservation ideologies, to present the most current technologies to assist the preservation process, and to give voice to the international community for preservation findings.

Presidio Trust Internal Training Opportunities

In 2016, Rob Thomson and Michelle Taylor presented a refresher course on Secretary of the Interior Standards (SOIS) to Presidio Trust staff. The one and half hour overview provided a forum for Trust Building Maintenance Staff to review the SOIS, share ideas and ask questions. Participants met at a building site to discuss best practices as applied to the cyclic maintenance of a c.1910 brick-masonry residence in the Fort Scott District. Many of the skilled craftspeople on staff have worked with these historic buildings since the base closure; their dedication to the maintenance of the Presidio's contributing resources is one the Trust's greatest strengths as stewards of the NHL.

Lectures

In November of 2016 Christina Wallace and Rob Wallace presented two preservation focused lectures in Seattle. The first at the University of Washington College of Built Environment titled "Lessons Learned: Building Rehabilitation in the Presidio" and the second presented at the Civita Institute in Seattle Washington on the topic: "How to Prepare a Facilities Maintenance and Management Plan for Civita di Bagnoregio, Italy."

Professional Achievements Outside of the Presidio

Preservation staff made positive strides in their field outside of the Presidio in 2016. In April, Christina Wallace received James Marston Fitch Mid-Career Fellowship with the research topic: *Architecture of the Coastal Salish Tribes of the Pacific Northwest*. Additionally, in August Christina was selected as Guest Scholar at the Getty Conservation Institute for the term of January to April 2017. Her work at the Getty will continue her research on the architecture of the Salish Tribes. In November, Routledge Press published *Architectural Conservation in Asia: National Experiences and Practice*, co-authored by Trust FPO Rob Thomson and John H. Stubbs (currently the Director of the Preservation Studies Program at the Tulane School of Architecture). Ten years in the making, the book provides the first comprehensive survey of historic preservation policy and practice in each of the 30 countries that comprise East, Southeast, South and Central Asia. Michael Lamb continued his role as a visiting lecturer in Landscape Architecture and Environmental Planning at the College Of Environmental Design at the University of California, Berkeley.



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Awards

In 2016, the Presidio Trust was honored to be recognized for both the efforts of the agency and accomplishments of talented individuals, in our collective mission to preserve contributing resources within the Presidio of San Francisco National Historic Landmark District. The California Heritage Council recognized the California Society of Pioneers and the Presidio Trust for the tenant improvements to the first floor of building 101, a Montgomery Street Barrack, to house a gallery and archive, and restaurant, respectively. The Presidio Trust also received a California Preservation Foundation Award in the building rehabilitation category for the Presidio Officers' Club. In 2016 the Officers' Club also received LEED Gold certification. The Inn at the Presidio, a former Barracks Officers' Quarters, opened as a hotel in 2012 and continues to be recognized for excellence in the hospitality industry.

Society for Historical Archaeology Meeting

In January of 2016, Juliana Fernandez, Archaeologist, presented "Visibility and Accessibility: Performing Archaeology at the Presidio of San Francisco" at the Society for Historical Archaeology Meeting in Washington, D.C.



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This section includes summaries of Presidio Trust projects that sought public involvement due to their scale and complexity. The projects listed below were either commenced or completed in the calendar year 2016, or had the vast majority of the work performed during the year and were not captured in other sections of the report.

Public Comment on Tunnel Tops (previously known as Presidio Parklands Project)

In 2014 the Presidio Trust, along with our partners the Golden Gate National Parks Conservancy and the National Park Service, kicked off an effort to design a new 14-acre landscape on top of the Main Post tunnels for the new Presidio Parkway/Doyle Drive. A public engagement program that began in 2014 continued through the calendar year of 2016. Since September 2014 the Trust has received thousands of public comments through these outreach efforts, and looks forward to continued public engagement on the project as it proceeds through the next phases of design and implementation.

Although design development continued in 2016, progress slowed due to cost evaluations and fundraising efforts. Despite a lack of new information, the Trust provided opportunities for the public to stay engaged through an updated website, a refreshed exhibit in building 103, and Friday site walks that resumed in the fall after a summer hiatus. The latter offered an opportunity for the public to walk the site with one or two Trust staff members knowledgeable about the scope of the project.

Project documents, schematic designs and public comments are available on the Tunnel Tops project website at: <http://www.presidio.gov/tunnel-tops>

A full description of the agency's activities around this project is found in Exhibit G of this report.

Presidio Theatre Rehabilitation

In 2016 a prospective tenant presented plans to rehabilitate and expand the Presidio Theatre (Building 99, built 1939) to serve as a multi-purpose community facility for live performance, educational programs and events. The tenant is pursuing Federal Historic Preservation Tax Credits.

In March 2016 the Trust announced the project to the public. Per the new Stipulation II.C.3 (Undertakings and the Federal Historic Tax Credit Program) of the Programmatic Agreement Main Post Update (PA-MPU) the Trust shared the project design with the public. On the evening of April 5, 2016, the Trust hosted a public open house at the Theatre where the project architect and Trust staff answered questions and took comments from attendees. The Trust also accepted public comments via email and written letters. The Trust shared the public comments with PA-MPU signatory parties and on the project website. Public comments and other project information can be accessed at: <http://www.presidio.gov/presidio-trust/planning/presidio-theatre>

Appendix A

Appendix B



PRESIDIO TRUST PROJECT SCREENING FORM

Filing of Project Screening form is in compliance with Section 1010.1(a) of the Presidio Trust's Regulations implementing the National Environmental Policy Act and Section VIII of the Programmatic Agreement among the Presidio Trust, National Park Service, the Advisory Council on Historic Preservation and the California State Historic Preservation Officer regarding the Presidio Trust Management Plan and various operation and maintenance activities for Area "B" of the Presidio of San Francisco, Golden Gate National Recreation Area, and pursuant to Section 106 of the National Historic Preservation Act of 1966, as Amended.

(To be completed by N² Division only)

Submittal Date

Project No.

☐ NHPA / ☐ NEPA

PART I

A. GENERAL INFORMATION

Project Title:			
Project Location / Site:			
Planning Area:			
Major / Minor Work Order			
Proposed Start		Proposed Completion	
Project Manager / Title			
Trust Department			
Phone Number		Fax Number	

B. PURPOSE AND NEED

Describe below the reason for proposing the project at this time and what the project hopes to accomplish.

C. WORK PLAN SPECIFICS

Describe below how the project would be implemented. Be as specific as possible about dates and methods. The form must include a project location map and the following attachments as needed: site plans, design and/or construction drawings, photographs, cut sheets, other graphics.

D. PROJECT COORDINATION

If implemented, would the project:

1.	Require a Building Permit and/or an Excavation Clearance?	
2.	Require outside review/consultation? e.g. California Environmental Quality Act (CEQA), Regional Water Quality Control Board (RWQCB), US Fish and Wildlife Service (USFWS), or Native American tribes.	
3.	Be within Area A or have the potential to affect Area A lands, and require National Park Service NEPA or 5X Review?	
4.	Disturb soil in the drip line of a building? If so, has the remediation program for lead-based paint soil been initiated?	
5.	Would this project generate controversy or questions from the public, and hence require public outreach and education? Does it require notice in the Presidio Post? <i>if "Yes", explain here:</i>	
6.	Be within an environmental land use control zone? <i>If unknown, consult the Environmental Protection Specialist at 561-2756</i>	

PRESIDIO TRUST PROJECT SCREENING FORM

If implemented, would the project:

7.	Have design components (such as aesthetic/visual features, architectural/interior design elements, designed landscape components or special maintenance/sustainability considerations) that do not give rise to potential environmental effects, but may require additional review? <i>If unknown, consult the Design Review Committee Coordinator at 561-5367</i>	
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E. ALTERNATIVES CONSIDERED

*Describe below all alternatives considered including timing, cost, potential environmental effects, and/or logistical issues that influenced the rejection of each alternative. **“No Action” should always be one alternative considered.** Proposals that do not document alternatives considered will be returned to the Project Manager for further information*

F. CONSULTATION

Early consultation with the N² and resource staff will expedite the review process. Describe below communication with Trust resource specialists or input from outside agencies or experts. Any potential environmental impacts identified must be discussed with the relevant staff specialist.

PART II

*“Yes” answers must be accompanied by an **explanation of how the potential impact will be avoided.** Justify “No” answers with an explanation when needed.*

If implemented, could the project:

1.	Affect a known historic property, an archeologically sensitive area, cultural landscape or other National Historic Landmark District contributing feature?	
	<i>If unknown, consult the Historic Compliance Coordinator</i>	
	<i>Explain:</i>	
2.	Destroy, remove or replace historic fabric?	
	<i>Explain:</i>	
3.	Introduce, reintroduce or remove non-historic elements (physical, visible, audible, and atmospheric) of a historic structure or environment?	
	<i>Explain:</i>	
4.	Cause deterioration of historic fabric, terrain or setting?	
	<i>Explain:</i>	
5.	Substantially alter any ground cover or vegetation and/or diminish habitat? Affect an endangered, rare or threatened species?	

PRESIDIO TRUST PROJECT SCREENING FORM

Explain:

17.	Substantially increase the amount of energy or water used? Use sustainable materials and/or appliances designated in the Presidio Green Building Guidelines?.....	
	<i>Explain:</i>	
18.	Substantially increase the amount of waste generated?	
	<i>Explain:</i>	
19.	Increase light or glare?	
	<i>Explain:</i>	
20.	Block an existing view, be visually intrusive or contribute to a degraded visual condition?	
	<i>Explain:</i>	
21.	Maintain or create a public or employee safety or health hazard?	
	<i>Explain:</i>	
22.	Create or contribute to a fire hazard or increase the demands for fire department services? Increase demand for police services or create an attractive nuisance?	
	<i>Explain:</i>	

Comments, Questions and Suggestions:

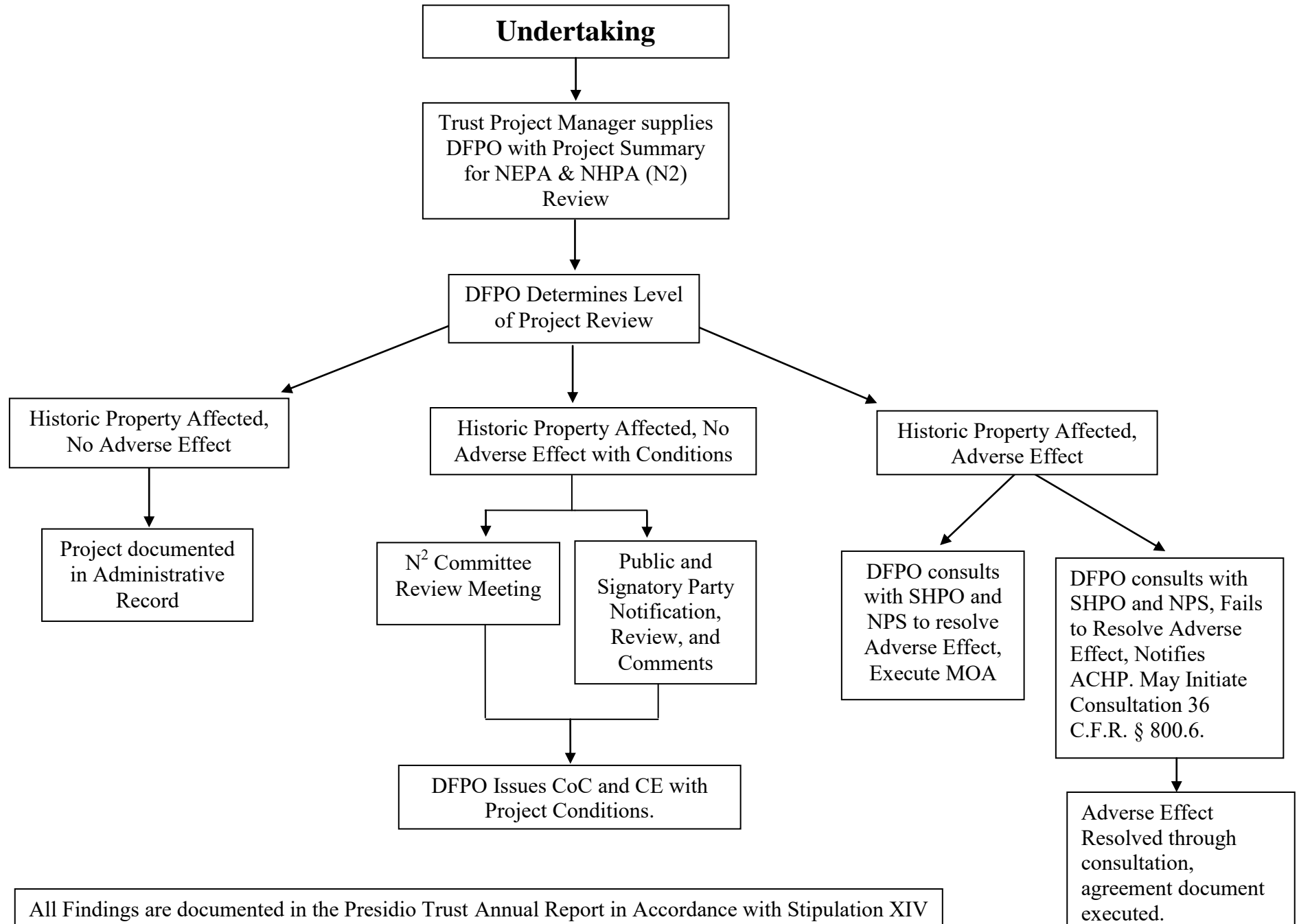
Did you find this new format user-friendly?..... ☐ Yes ☐ No
Why?

PRESIDIO TRUST PROJECT SCREENING FORM

	<i>Explain:</i>	
6.	Attract animal or insect pests?	
	<i>Explain:</i>	
7.	Inhibit surface water drainage, alter the landscape topography, lead to increased runoff or erosion or compromise slope stability?	
	<i>Explain:</i>	
8.	Involve handling and/or storage of hazardous substances?	
	<i>Explain:</i>	
9.	Degrade surface or ground water quality? Substantially alter the type of wastewater generated to the sanitary sewer system or storm drainage?	
	<i>Explain:</i>	
10.	Affect wetland, riparian or coastal habitat?	
	<i>Explain:</i>	
11.	Be inconsistent with existing or formally proposed land use plans or policies (i.e. the Presidio Trust Management Plan and Mitigation Monitoring Enforcement Program, Vegetation Management Plan etc.)? <i>If unknown, consult the Environmental Protection Specialist</i>	
	<i>Explain:</i>	
12.	Impact current or planned visitor services? Alter current visitor access (parking, trails, roads, etc.)?	
	<i>Explain:</i>	
13.	Greatly increase the demand for parking?	
	<i>Explain:</i>	
14.	Substantially increase traffic congestion, traffic volume, or adversely affect traffic safety for vehicles, pedestrians and bicyclists?	
	<i>Explain:</i>	
15.	Substantially increase vehicle emissions or emissions of other air pollutants? Generate nuisance dust or odors?	
	<i>Explain:</i>	
16.	Perceptibly increase the background noise levels or expose people to loud noise?	

Appendix C

The Presidio Trust N² Process



Appendix D

PROGRAMMATIC AGREEMENT
AMONG
THE PRESIDIO TRUST,
THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER,
THE NATIONAL PARK SERVICE, AND
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
FOR
THE MAIN POST UPDATE TO THE PRESIDIO TRUST MANAGEMENT PLAN
PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK,
SAN FRANCISCO, CALIFORNIA

WHEREAS, the Presidio Trust (Trust) proposes to amend the planning concept for the *Main Post District: Visitor and Community Center* section with the Main Post Update to the Presidio Trust Management Plan (PTMP) for Area B of the Presidio of San Francisco (Project), a designated National Historic Landmark District (NHL) within the boundaries of the Golden Gate National Recreation Area (GGNRA); and

WHEREAS, the Trust plans to enact this Project pursuant to the Presidio Trust Act, 16 U.S.C. 460bb appendix, thereby making the Undertaking subject to review under Section 106 of the National Historic Preservation Act (NHPA), 16 U.S.C. § 470f, and its implementing regulations, 36 CFR Part 800, and Stipulation X of the *Programmatic Agreement Among the Presidio Trust, National Park Service, the Advisory Council on Historic Preservation, and the California State Historic Preservation Officer Regarding the Presidio Trust Implementation Plan and Various Operation and Maintenance Activities for Area “B” of the Presidio of San Francisco, Golden Gate National Recreation Area* (“Presidio Trust Programmatic Agreement” (PTPA)), as amended; and

WHEREAS, the Federal Highway Administration, California Department of Transportation and San Francisco County Transportation Authority have accounted for adverse effects to the Presidio NHL located within the Main Post in a separate Section 106 consultation on the replacement of Doyle Drive, completed in 2008; and

WHEREAS, the Trust completed a Section 106 consultation on the Main Parade Rehabilitation in November 2007, resulting in a conceptual design included for reference in this PA as Appendix H, and major elements including pavement removal and turf installation are proceeding; and

WHEREAS the Trust initiated consultation under Stipulation X of the PTPA, as amended, and in concert with the Advisory Council on Historic Preservation (ACHP) elected to combine consultation with Subpart B of 36 CFR Part 800; and

WHEREAS, the Trust has defined the Area of Potential Effect (APE) for this Undertaking as the NHL, depicted on the map in Appendix A; and

WHEREAS, the Trust has determined that the Undertaking will adversely affect the NHL, and has consulted with the California State Historic Preservation Officer (SHPO) pursuant to 36 CFR Part 800 and Stipulation IX(A) of the PTPA; and

WHEREAS, the Trust has completed a draft update to the Presidio of San Francisco National Historic Landmark forms in 2008 and has submitted the update to the National Park Service’s Pacific West Regional Office (PWRO); individual eligibility determination of post-World War II resources is still

ongoing; and regardless of eligibility or contributing status of those resources the Trust does not propose to change the Main Post Update to the PTMP projects associated with those resources; and

WHEREAS, the Trust has consulted with the National Park Service's PWRO and the GGNRA regarding the effects of the undertaking on historic properties and has invited them to sign this Programmatic Agreement (Agreement) as an invited signatory; and

WHEREAS, in accordance with 36 CFR § 800.6(a)(1) and Stipulation X of the PTPA, the Trust has notified the ACHP of its adverse effect determination providing the specified documentation, and the ACHP has chosen to participate in the consultation pursuant to 36 CFR § 800.6(a)(1)(iii); and

WHEREAS, pursuant to 36 CFR § 800.2 (c)(5) the National Trust for Historic Preservation, Presidio Historical Association, San Francisco Architectural Heritage, Descendents of the de Anza and Portola Expedition, Sierra Club, National Parks Conservation Association, Barbara Voss (archaeologist), People for a Golden Gate National Recreation Area, Cow Hollow Association, Neighborhood Association for Planning at the Presidio, Laurel Heights Improvement Association, Marina Community Association, San Francisco Film Society, Interfaith Center at the Presidio, Contemporary Art Museum at the Presidio, and Larkspur Hotels and Restaurants have participated in the consultation, and have been invited to be concurring parties to this Agreement; and

WHEREAS, the Trust consulted with representatives of Native American groups identified by the California Native American Heritage Commission as having knowledge of cultural resources in the project area and San Francisco County, and has incorporated comments from that consultation into this Agreement; and

WHEREAS, the Trust documented the findings of effect in a document called *Finding of Effect for the Main Post Update* (Appendix B), which was released in July 2009; and

WHEREAS, the ACHP requested a report from the Director of the NPS under Section 213 of the National Historic Preservation Act (NHPA) [16 U.S.C. § 470u] detailing the significance of the NHL, describing the effects of the Undertaking on the NHL, and recommending measures to avoid, minimize, or mitigate adverse effects, in August 2008; and

WHEREAS, the National Park Service's PWRO submitted its completed Section 213 report to the ACHP in April 2009 (available on the Trust website at <http://www.presidio.gov/trust/projects/mp/mpdocs.htm>) which concurred with the Trust's finding of adverse effect, and informed the consultation; and

WHEREAS, the Art Museum proposal included in the February 2009 MPU was withdrawn in July 2009; and

WHEREAS, the Trust, through the consultation process and in compliance with the NHPA, including Sections 106 and 110(f), has modified the Undertaking to avoid, minimize or mitigate the adverse effects identified in the *Finding of Effect for the Main Post Update*, and described this modified Undertaking in a *Final Main Post Update* (August 2010); and

WHEREAS, the Trust has proposed the removal or relocation of Buildings 40 and 41 as part of the El Presidio: The Birthplace of San Francisco project; and

WHEREAS the Trust is conducting a parallel review process in accordance with the National Environmental Policy Act (NEPA) for the development of a Supplemental Environmental Impact

Statement, which has included the solicitation of public input on the potential impacts of the Undertaking on historic properties; and

WHEREAS, all projects located in the Main Post that are not described in the following stipulations will be reviewed according to Stipulation VII of the Presidio Trust Programmatic Agreement (PTPA); and

NOW, THEREFORE, the Trust, ACHP, SHPO, and NPS agree that the Undertaking will be implemented in accordance with the following stipulations in order to take into account the effect of the Undertaking on historic properties.

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STIPULATIONS

The Trust shall ensure that following measures are carried out:

I. ROLES AND RESPONSIBILITIES

- A. The Presidio Trust, the SHPO, and the NPS will review and comment on draft designs submitted in accordance with Stipulation II(C) and draft and/or comment on documents submitted in accordance with Stipulation II(B), (D) and (E), may raise and resolve objections according to Stipulation V(A) and may amend or terminate this agreement according to Stipulation VI. The NPS, as an invited signatory, will have the same roles and responsibilities as the other signatory parties. The Trust will be responsible for organizing public meetings, distributing materials for review during the design development process, and reporting in accordance with Stipulations II(C) and IV(A).
- B. The ACHP may raise objections according to Stipulation V(A) and resolve objections according to Stipulation V(B) and may amend or terminate this agreement according to Stipulation VI. The ACHP will not participate in design reviews described under Stipulation II(C).
- C. Concurring parties may review and comment on draft designs and treatment plans submitted pursuant to Stipulation II(C) and may raise objections according to Stipulation V(B). Consulting parties that do not concur with the PA-MPU will have the same participation opportunities as the public.
- D. The public may participate and comment in public meetings according to Stipulation II(C).

II. TREATMENT OF HISTORIC PROPERTIES

A. Summary of Treatment Measures and Limits of New Construction

For components of the Undertaking determined to result in adverse effects to historic properties and to the cultural landscape as documented in the final Finding of Effect for the Main Post Update (Appendix B), measures to avoid, minimize and mitigate the adverse effects of the Undertaking are described below. References below to the "Secretary's Standards" refer to the Secretary's Standards for the Treatment of Historic Properties: Standards for Preservation, Rehabilitation, Restoration and Reconstruction (NPS, 1995 and updates); the Secretary's Standards for Treatment of Cultural Landscapes (NPS, 1996 and updates); and/or the Secretary's Standards and Guidelines for Archaeology and Historic Preservation (NPS, 1983 and updates). It would not be uncommon for multiple standards to apply to a single component of the Undertaking.

1. Project-Specific Treatments

a. El Presidio: The Birthplace of San Francisco

The archaeological program at El Presidio may only proceed as follows:

i. Standards and guidelines to direct archaeological efforts at El Presidio will be developed and will apply to all work undertaken at the site, including work by professional and academic partners of the Trust; terms and details for these standards and guidelines to direct archaeological methods at El Presidio are set forth in Stipulation II(H).

ii. Treatment recommendations will be developed for the phased implementation of an interpretive landscape at El Presidio, including:

1. Reduction of parking from 252 daily stalls to 75 daily stalls, and;

2. Measures to periodically close Moraga Avenue, Mesa and Graham Streets using removable bollards for ongoing excavation and special events, and;

3. Representations of the dimensions and layout of the colonial settlement, and measures to rehabilitate the character-defining features of the *plaza de armas*.

Review of schematic designs for above will be conducted according to terms set forth in Stipulation II(C).

iii. Prior to implementing a course of action involving NHL-contributing Buildings 40 or 41 the Trust will consult with signatory and concurring parties according to terms set forth in Stipulation II(C)(2).

b. Archaeology Lab and Curation Facilities

Rehabilitation, new construction, and demolition associated with the Archaeology Lab and Curation Facility may only proceed as follows:

i. NHL-contributing Building 46 will be demolished. Prior to demolition, Building 46 will be fully documented according to the Historic American Buildings Survey (HABS) according to terms set forth in Stipulation II(D).

ii. A connecting structure not to exceed 500 square feet (sq/ft) will be constructed between Buildings 47 and 48, with a height not to exceed the roof ridge of Buildings 47 and 48; new construction will follow conceptual plans attached as Appendix C; review of rehabilitation and new construction for Buildings 47, 48, and the new connector will be conducted according to terms set forth in Stipulation II(C), and will follow conceptual plans attached as Appendix C.

iii. The Trust and NPS-GGNRA will cooperatively draft an agreement on the management of archaeological collections recovered from the Presidio NHL within six (6) months of executing this agreement.

c. Presidio Lodge

216 Rehabilitation and new construction associated with the Presidio Lodge may only
217 proceed as follows:

218 i. Non-NHL contributing Building 34 will be demolished.

219 ii. Total new construction for lodging use on the site bound by Lincoln
220 Boulevard, Sheridan Avenue, Graham and Anza Streets will not exceed 70,000
221 sq/ft (reference conceptual site plan attached as Appendix D).

222 iii. New construction will be roughly based on the historic barracks layout that
223 was present between Anza and Graham Streets (ca. 1860-1945), with heights not
224 to exceed 30'; the southern edge of new construction will be set back no less than
225 150' from Building 95 (reference conceptual site plan attached as Appendix D).

226 iv. Designs for foundations, utility connections and underground parking using
227 the basement of Building 34 will take into account the presence of subsurface
228 archaeological features, and the Trust will seek solutions through the review
229 process to avoid adverse effects associated with excavation.

230 v. Buildings 86 and 87 may be adaptively reused for lodging according to
231 treatment recommendations in an HSR, developed according to terms set forth in
232 Stipulation II(E) and the Secretary's Standards.

233 vi. Prior to completion of schematic designs for the Presidio Lodge, an
234 Archaeological Management Assessment (AMA) will be prepared (reference
235 Stipulation II(G)). If the AMA anticipates an adverse effect to archaeological
236 features, the Trust will draft a proposed Treatment Plan according to terms set
237 forth in Stipulation II(G)2.

238 vii. Reviews of rehabilitation and new construction will be conducted according
239 to terms set forth in Stipulation II(C) and will follow conceptual plans attached as
240 Appendix D.

241 **d. Presidio Theatre**

242 Rehabilitation and new construction associated with the Presidio Theatre
243 (Building 99) may only proceed as follows:

244 i. The *Finding of Effect for the Main Post Update* acknowledges that construction
245 of an 18,000 sq/ft addition would have an adverse effect on the Theatre. In order
246 to minimize that effect, Building 99 and its surrounding landscape will be
247 rehabilitated and new construction designed according to the treatment
248 recommendations in an HSR, developed according to terms set forth in
249 Stipulation II(E). The HSR will presume an addition of 18,000 square feet.;

250 ii. The interior of Building 99 will be retained as a single auditorium.

iii. An addition not to exceed 18,000 sq/ft, including a transparent connector, may be located to the west of Building 99, with a height not to exceed the eave of Building 99.

iv. Designs for the addition will take into account the presence of subsurface archaeological features, and the Trust will seek solutions through the review process to avoid adverse effects associated with excavation.

v. Review of rehabilitation and new construction will be conducted according to terms set forth in Stipulation II(C) below, and will follow conceptual plans attached as Appendix E.

e. Presidio Chapel

Rehabilitation and new construction associated with the Presidio Chapel (Building 130) may only proceed as follows:

i. In order to minimize the effect of an addition, Building 130 and its surrounding landscape will be rehabilitated and new construction designed according to the treatment recommendations in an HSR, developed according to terms set forth in Stipulation II(E). The HSR will presume an addition of 4,000 square feet.

ii. An addition not to exceed 4,000 sq/ft may be located to the west of Building 130, with a height not to exceed the sills of the west elevation windows; the addition will be perpendicular to the west wall of the sanctuary, allowing a large portion of the west wall to be visible.

iii. Designs for the addition will take into account the presence of subsurface archaeological features and the Trust will seek solutions through the review process to avoid adverse effects associated with excavation.

iv. Review of rehabilitation and new construction will be conducted according to terms set forth in Stipulation II(C), and will follow conceptual plans attached as Appendix F.

f. Pedestrian Access & Parking Improvements

Pedestrianization of specified roads and development of the following parking facilities in the Main Post may only proceed in accordance with the Secretary's Standards and as follows:

i. Traffic signals will not be installed at any location in the Main Post.

ii. Portions of Arguello Boulevard (between Moraga and Sheridan Avenues) and Sheridan Avenue (between Graham and Montgomery Streets) will be closed to vehicular traffic using removable bollards; historic widths and alignments of these NHL-contributing resources will be retained and roads will be resurfaced with a historically compatible paving material; reviews for treatment of historic roads will be conducted according to terms set forth in Stipulation II(C).

iii. In coordination with the SHPO, a determination of eligibility (DOE) to the National Register of Historic Places (NRHP) will be completed regarding Building 385 in accordance with Stipulation II(I), as associated with the Moraga Avenue parking lot, within three (3) months after the execution of the Agreement. If the building is found eligible to the NRHP the building will be documented in accordance with Stipulation II(D)(1).

iv. Parking lots at Taylor Road and Moraga Avenue will be developed to avoid adverse effects to Buildings 113, 118 and 386, according to conceptual plans attached as Appendix G; treatment of archaeological resources will follow terms set forth in Stipulation II(G).

v. The Main Post Bluff parking facility will be developed according to conceptual plans attached as Appendix G; an archaeological Identification Plan will be developed for the Main Post Bluff parking facility prior to completion of schematic designs. An AMA will be prepared based on any additional testing that may be required according to the Identification Plan. If the AMA anticipates an adverse effect to archaeological features, the Trust will draft a proposed Treatment Plan according to terms set forth in Stipulation II(G)2.

vi. Reviews for the design of the parking facility will be conducted according to terms set forth in Stipulation II(C).

B. Development of Design Guidelines & Cultural Landscape Documentation

1. Cultural Landscape Report

The Trust will organize, update and supplement existing cultural landscape documentation into a Cultural Landscape Report for the Main Post (CLR-MP) according to the format recommended by Chapter 7 (Management of Cultural Landscapes) of NPS 28: Cultural Resource Management Guideline within six (6) months of the execution of this agreement document. The CLR-MP will be developed according to the process described in Appendix K.

Focused cultural landscape and planning & design guidelines may be completed for the Chapel, Theater and Taylor Road Parking areas prior to the completion of the broader CLR-MP and Main Post Planning & Design Guidelines. These focused studies would receive the same level of review as the larger studies, as described in Appendix K.

2. Main Post District-Wide Guidelines

The Planning District Concepts and Guidelines for the Main Post District that are included in the 2002 PTMP (pp. 62-69) remain the overarching guidance under this Agreement. The Trust will also revise the February 2007 Main Post Planning & Design Guidelines (available on the Trust's website at www.presidio.gov) according to the Final Main Post

Update within six (6) months of the execution of this agreement. The updated Main Post Planning & Design Guidelines will be appended to the CLR-MP, and developed according to the process described in Appendix K.

3. Project-Specific Design Guidelines

Project-specific design guidelines for the Presidio Lodge, Presidio Theatre and Presidio Chapel will be based on the CLR-MP, revised Main Post Planning and Design Guidelines, and treatment recommendations in the HSRs for the applicable buildings. These design guidelines shall be finalized as part of the HSR for each project, and shall constitute final design guidelines, to be considered in project design reviews as set forth in Appendix K.

4. Coordination with Design of the Main Parade

- a. Guidelines will be included in the updated Main Post Planning and Design Guidelines to ensure compatibility between the Presidio Lodge design and the rehabilitated Main Parade.
- b. Project specific design guidelines for the Presidio Lodge will incorporate directives from the Main Post Planning and Design Guidelines ensuring compatibility between the new Lodge construction and the adjacent Main Parade.
- c. Prior to finalizing schematic designs for the eastern edge of the Main Parade (also known as the “Anza Esplanade”, reference Appendix H), the Trust will hold a public meeting on the proposed design for that feature.
- d. Following the public meeting the Trust FPO or designee will distribute a 90% design development submittal to the signatory and concurring parties for review. The design submittal will be made available via the Trust website (www.presidiotrust.gov), in hard copy in the Trust’s Library, or in hard copy mailed upon request.
- e. Written comments from the signatory parties on these design submissions received by the Trust within twenty-one (21) calendar days of the submission will be considered. If a party does not comment within twenty-one (21) calendar days, and does not notify the Trust and request an additional period to submit comments that shall not exceed ten (10) calendar days, the Trust may proceed.

C. Project Design Reviews – New Construction and Rehabilitation

1. Design Review Steps, Process for PA-MPU Projects

- a. Using site-specific and district-wide design guidelines, the design guidelines in the PTMP, and/or treatment recommendations from HSRs, the Trust FPO or designee will work with project proponents to develop designs for new construction and rehabilitation described under Stipulation II(A)(1)(a-f).
- b. The Trust is responsible for ensuring that design submittals are complete prior to distributing them for review. These designs will be submitted to signatory and concurring parties, and the public, for further consultation and comment according to the processes described in Appendix K.
- c. The Trust FPO or designee will be responsible for notifying participating parties of the intent to hold public meetings and on-site briefings in accordance with Appendix K at least thirty (30) calendar days prior to the event taking place.

2. Consultation on Treatment of Buildings 40 and 41

- a. Prior to completion of schematic designs for El Presidio interpretive landscape, and after the completion of the CLR, the Trust will initiate consultation with signatory and concurring parties to determine the appropriate treatment of Buildings 40 and 41, and will consider all measures for avoidance, minimization or mitigation.
- b. Because the landscape design for El Presidio will be phased, phases of the plan that do not propose to adversely affect Buildings 40 and 41 may proceed according to the process described in Appendix K. Implementation of earlier phases of the treatment plan will not preclude any outcome as to the final treatment of Buildings 40 or 41.
- c. The Trust FPO or designee will initiate consultation by notifying signatory and concurring parties of its intent to hold a public meeting thirty (30) calendar days prior to scheduling the meeting. Trust staff will present proposals, with the full range of treatment options, related to the above-referenced project at the session and will solicit comment from attendees. Following the public meeting, the Trust, NPS, SHPO and concurring parties will meet to consider the proposals and comments from the meeting and discuss how effects should be resolved.
- d. Where the parties agree on how effects will be resolved, they shall document such agreement along with a process for implementing the terms of agreement (including, but not limited to, documentation, rehabilitation and/or relocation plans, or other mitigation measures).
- e. If, after consultation, the parties do not agree on how effects will be resolved, then the FPO or designee shall notify the ACHP and treat the matter as an objection under the terms of Stipulation V(A) Dispute Resolution.

D. HABS/ HAER/HALS Documentation & Other Mitigation Measures

1. Prior to demolition of Building 46, finalizing the treatment plan for Buildings 40 or 41, or demolition of any building that has been found individually eligible to the NRHP in accordance with Stipulation II(I) or that is subsequently found to be contributing to the NHL, the Trust will complete recordation and documentation of these resources, as necessary, in accordance with the *Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation*, prior to start of construction. The Presidio Trust shall consult with the NPS HABS/HAER/HALS program in the PWRO to determine the level and kind of recordation appropriate for the resources.
2. In addition to the requisite copies for final submission to the Heritage Documentation Programs, the Trust will make archival, digital and bound library-quality copies of HABS/HAER/HALS documentation available, as appropriate, to the NPS/GGNRA Archives and Records Center.
3. The signatory parties may develop additional mitigation measures to resolve the demolition of eligible or contributing buildings through consultation not to exceed fifteen (15) calendar days. Where the signatory parties agree on the development of additional mitigation measures, they shall document such agreement along with a process for implementing the terms of agreement. If, after consultation, the signatory parties do not agree on the development of additional mitigation measures, then the FPO or designee shall notify the ACHP and treat the matter as an objection under the terms of Stipulation V(A) Dispute Resolution.

E. Historic Structures Reports

1. The Trust will prepare HSRs for Buildings 86/87, 99 and 130. The HSRs will be written in accordance with the standards established in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports* (National Park Service, 2005). The HSRs will include a history of the property/building, construction history, archaeology, architectural evaluation, conditions assessment, maintenance requirements, recommendations for proposed work, copies of original drawings and specifications (if available), current drawings if different from the original, and historic and current photographs.
2. HSRs will be developed following the execution of this agreement document, and completed prior to additional design development. HSRs will be developed according to the process described in Appendix K.

F. Salvage

For the historic properties that will be demolished under Stipulation II(A), the Trust's qualified personnel will conduct a documented inspection to identify architectural elements and objects that may be reused in rehabilitating similar historic structures, or that may be preserved in a museum collection in accordance with the Secretary's Standards. These decisions will be included in the annual report submitted according to Stipulation IV(A).

G. Archaeology Process

The Trust shall take all reasonable measures to protect archaeological sites and features identified inside the NHL. To accomplish this and inform the design process, an

Archaeological Management Assessment (AMA) shall be prepared for individual projects or groups of related projects described under Stipulation II(A)(1)(a-g) by a qualified archaeologist prior to the completion of schematic design. The Trust's Principal Archaeologist will provide copies of completed AMA's in the Trust's PTPA Annual Report. Based on the assessment in the *Final Finding of Effect*, the AMA will outline a course of action for the projects. This course of action shall include one or more of the following:

1. Identification Plan

A project-specific plan shall be developed at the completion of the schematic phase for projects anticipated to have an adverse effect but that require further identification to understand the content and dimensions of the features, to assess the nature and extent of the effect, and/or to guide continuing efforts to avoid or minimize the adverse effect. For archaeological features identified the Trust may assume eligibility. Identification will further refine recommendations in the AMA and may lead to a monitoring or treatment plan.

2. Treatment Plan

A project-specific plan shall be developed for those projects that have unavoidable adverse effects and where existing identification is sufficient to proceed to treatment, or for which further identification is incorporated within the treatment plan. If through identification the plan anticipates and includes the treatment of prehistoric resources the Trust will seek to incorporate Native American comments and concerns, taking into account direct affects to cultural resources as well as indirect affects to Native American cultural values. The plan will describe protection measures for unaffected archaeological features, relevant research questions to be answered, methods for data recovery, monitoring during construction, responsibilities and coordination, and the interpretation and curation of recovered materials. The plan will describe the mitigation sufficiently to serve as a scope of work and for the purpose of developing a budget. Treatment Plans will be reviewed according to terms set forth in Appendix K.

3. Monitoring Plan

A project-specific plan shall be developed for those projects that are not anticipated to have an adverse effect, or that have been designed to avoid adverse effect during design development but that nonetheless are within proximity to identified or predicted archaeological features. The monitoring plan will describe measures to protect archaeological features, and in the event that Native American human remains are encountered will include protocol measures adhering to NAGPRA and all applicable state and federal laws; the monitoring plan will also include the proposed location and frequency of monitoring along with required documentation procedures. Measures to identify, assess, and determine the appropriate treatment of archeological features should they be encountered will be consistent with the discovery protocols.

4. Discovery Protocol

A standard response protocol shall be developed by the Trust within thirty (30) calendar days of the execution of this agreement for all projects in the event of a discovery. For projects without any anticipated effects, this will be the only condition required prior to implementation. In the event of a discovery the Trust may assume

eligibility for the purposes of treatment. Should circumstances arise where the Trust cannot address discoveries in a manner consistent with the protocol, the Trust shall notify the SHPO and NPS of the discovery and any project-related time constraints, then agree upon reasonable time frames for consultation. The Trust shall take into account any timely comments prior to making a final decision on treatment. This protocol will describe the Trust's methods to comply with the Archaeological Resources Protection Act and Native American Graves Protection and Repatriation Act.

H. Archaeology Program for El Presidio and the Main Post

In keeping with the Secretary of the Interior's Standards for Preservation Programs pursuant to Section 110 of the NHPA (1998) the Trust shall institute an archaeology program to further identify, research, and use the archeological sites and features within the NHL as public interpretive facilities. This effort will focus on El Presidio and will include ongoing scholarship, incremental conservation-minded excavation, landscape commemoration that preserves subsurface features, interpretation of the archaeology process and findings for the public, and dissemination of the information being recovered through educational programs. To provide necessary detail for the management approach, the archaeological methods involved, and the landscape designs for the site of El Presidio described under Stipulation II(A)(1)(a), the Trust will further develop the following documents:

1. Levantar

The Trust shall update and finalize *Levantar* the Archaeological Management Plan (AMP) for El Presidio (drafted and reviewed in 2004 per Stipulation XII(E) of the PTPA, and available on the Trust's website at www.presidiotrust.gov) within ninety (90) calendar days of the execution of this agreement to reflect the direction provided in the Main Post Update and in this Agreement. Following execution of this Agreement, the updated version of *Levantar* will be distributed to the signatory and concurring parties to this PA via the Trust's website (www.presidiotrust.gov) and via hard copy in the Trust's Library for comment. Written comments from the parties that are received by the Trust within ninety (90) calendar days of the review session will be considered. If a party does not comment within ninety (90) calendar days, and does not notify the Trust to request an additional period to submit comments that shall not exceed ten (10) calendar days, the Trust may proceed with finalization of the document.

2. Standards and Guidelines

The Trust shall develop standards and guidelines to direct archaeological methods at El Presidio and the Main Post for field investigations, laboratory processes, mapping, and reporting. These standards and guidelines will facilitate both current interpretation and future research, and will ensure consistency amongst the various archaeological initiatives of the Trust and its academic and professional partners. These standards will be informed by the agreement developed between NPS-GGNRA and the Trust referenced in Stipulation II(A)(1)(b)(iii). The standards and guidelines will be completed within twenty-four (24) months of the execution of this Agreement, and will be submitted to SHPO for a twenty-one (21) calendar day review. This report will be periodically updated to reflect developments in the field of archaeology.

I. Individual Eligibility of Post-World War II Resources

Within three (3) months of execution of this Agreement, the Trust will complete a DOE to the NRHP eligibility with the SHPO for post-World War II resources in the Main Post, particularly Buildings 34, 63, 68, 93, 98, 205, 215, 231, 385 and 387. If a building is found individually eligible to the NRHP it will be documented in accordance with Stipulation II(D)(1) prior to start of construction.

III. PTPA UPDATE

The Trust will initiate consultation to review the PTPA for amending or updating with that document's signatory and concurring parties within six (6) months of executing this Agreement with the goal of completion by 2013 when the PTPA expires.

IV. ADMINISTRATIVE STIPULATIONS

A. Reporting

On or before January 30 of each reporting year, so long as this Agreement is in effect, the Trust will include project updates in conjunction with its PTPA annual report, describing how the agency is carrying out its responsibilities under this Agreement. The Trust will make the annual report available via its website (www.presidiotrust.gov), and a hard copy in the Trust Library, and through a mailing to the signatory and concurring parties to this agreement.

B. Professional Standards

All activities regarding history, collections management, historical archaeology and prehistoric archaeology, architecture, landscape architecture, and architectural history that are accomplished pursuant to this Agreement will be carried out by or under the direct supervision of persons meeting the *Secretary of the Interior's Professional Qualification Standards* relevant to the portion of the project being considered.

C. Report Dissemination

The Trust will require that all reports resulting from implementation of treatment plans, the AMP and AMAs meet contemporary professional standards and the *Secretary of the Interiors Standards for the Treatment of Historic Properties*; the *Secretary of the Interior's Standards and Guidelines for Archaeological Documentation*; and the "Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation" (*Federal Register*, 2003). Copies of all final reports will be provided to SHPO, the Northwest Information Center at Sonoma State University, and the NPS/GGNRA Archives and Records Center.

D. Post Review Discoveries

If it appears that an undertaking will affect a previously unidentified property that may be eligible for inclusion in the National Register, or that may contribute to the NHL, or affect a known historic property in an unanticipated manner, the Trust will stop construction activities in the vicinity of the discovery and take all reasonable measures to avoid or minimize harm to the property. The Trust shall notify signatories within two (2) working days of the discovery by phone and shall e-mail and describe the FPO or designee's assessment of National Register eligibility of the property and proposed

actions to resolve the adverse effects. The signatory parties shall respond within two (2) working days of the notification by e-mail. The Trust FPO or designee shall take into account their recommendations regarding National Register eligibility and proposed actions, and then shall carry out appropriate actions. The Trust FPO or designee shall provide the signatories a report of the actions when they are completed.

V. DISPUTE RESOLUTION

A. Raising and Resolving Objections – Signatory Parties

1. Should any signatory party object to the manner in which the terms of this Agreement are implemented or to any documentation prepared in accordance with and subject to the terms of this Agreement, the party will notify the Trust and the other signatory parties. The Trust will consult with the other signatory parties for no more than fourteen (14) calendar days to resolve the objection, once the Trust notifies all signatory parties of the objection. If the signatory parties agree that the objection is resolved through such consultation, the issue in question may proceed in accordance with the terms of that resolution. An extension of the consultation period may be requested by signatory parties not to exceed an additional ten (10) calendar days.
2. If, after initiating such consultation, the Trust determines that the objection cannot be resolved through consultation, the Trust FPO or designee will forward all documentation, including the Trust's proposed response to the objection, to the ACHP.
 - a. The ACHP shall provide the Trust with its advice on the resolution of the objection within thirty (30) calendar days of receiving the documentation. Prior to reaching a final decision on the dispute, the Trust shall prepare a written response that takes into account any timely advice or comments regarding the dispute from the ACHP, signatories and concurring parties, and shall provide them with a copy of this written response. The Trust will then proceed according to its final decision.
 - b. If the ACHP does not provide its advice regarding the dispute within the thirty (30) calendar day time period, the Trust may make a final decision on the dispute and may proceed accordingly. Prior to reaching such a final decision, the Trust shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the Agreement, and shall provide all parties to this Agreement with a copy of such written response.
 - c. The Trust's responsibility to carry out all other actions subject to the terms of this Agreement that are not the subject of the dispute shall remain unchanged.

B. Raising and Resolving Objections – Concurring Parties

The Trust will respond to objections raised by concurring parties and the public in writing within thirty (30) calendar days of receiving the objection. The Trust will provide copies of all objections made by concurring parties to the signatory parties. The Trust may discuss with signatory parties issues that are raised by concurring

parties prior to responding. The Trust will provide concurring and signatory parties concurrently with a copy of its final written decision regarding any objection.

VI. AMENDMENTS AND TERMINATION

A. Amendment

Any amendment to this Agreement must be made in writing and signed by all signatories. While consultation on the amendment is underway, the terms of the existing PA will remain in effect. The amendment will be effective on the date a copy signed by all of the signatories is received by the ACHP or such later date as may be specified in the amendment.

B. Termination

1. If any signatory party to this Agreement determines that its terms will not or cannot be carried out, that party shall immediately consult with the other parties to attempt to develop an amendment per Stipulation V(A), above. If within thirty (30) calendar days (or within another time period agreed to by all signatories) an amendment cannot be reached, any signatory party may terminate the Agreement upon written notification to the other signatory parties.
2. Once the Agreement is terminated, and prior to work continuing on the Undertaking, the Trust shall either (a) execute a programmatic agreement pursuant to 36 CFR § 800.14(b)(3), or (b) review such projects under Subpart B of 36 CFR Part 800. The Trust shall notify the signatories as to the course of action it will pursue.

VII. DURATION

- A. This Agreement will be in effect through the Trust's implementation of the Undertaking, and will expire and have no further force or effect when the Trust, in consultation with the other signatories, determines that the terms of this Agreement have been fulfilled. The Trust will provide the other signatories with written notice of its determination and of the expiration of this Agreement.
- B. Five (5) years after the date of executing this Agreement, the Trust FPO or designee will notify signatory parties in writing to organize a review of the Agreement for the purposes of amending or updating its terms. Ten (10) years after the date of executing this Agreement, if its stipulations are not carried out it will expire and prior to work continuing on the Undertaking, the Trust shall either (a) execute a programmatic agreement pursuant to 36 CFR § 800.14(b)(3), or (b) review such projects under Subpart B of 36 CFR Part 800. Prior to such time, the Trust may consult with the other signatories to reconsider the terms of the Agreement and may extend or amend it in accordance with Stipulation V(A) above. The Trust shall notify the signatories as to the course of action it will pursue.


VIII. CONCURRING PARTY INVOLVMENT IN IMPLEMENTATION OF THIS AGREEMENT

- 674 A. No work stipulated per this Agreement involving concurring parties shall proceed until
675 forty five (45) calendar days after the execution of this Agreement by the required
676 signatories.
677
- 678 B. If a consulting party does not sign this Agreement as a concurring party within forty five
679 (45) calendar days after the execution of this Agreement by the required signatories, the
680 Presidio Trust may proceed with work stipulated per this Agreement involving
681 concurring parties.
682
- 683 C. A consulting party can become a concurring party after the forty five (45) calendar-day
684 period with the written agreement of all signatory parties.
685
- 686 D. If a consulting party becomes a concurring party to the Agreement after forty five (45)
687 calendar days after the execution of the Agreement subject to stipulation VIII(C) above,,
688 the Presidio Trust shall not be required to revisit prior completed consultations stipulated
689 in this Agreement or reconsider previous findings or determinations made prior to the
690 date that such consulting party becomes a concurring party.
691

EXECUTION of this Agreement by the signatories and implementation of its terms evidence that the Trust has afforded the signatory and consulting parties an opportunity to comment on the Undertaking and its effects, and has taken into account the effects of this Undertaking on historic properties, and further that in compliance with the requirements of 36 CFR Part 800 and Section 110(f) of the NHPA, the Trust has afforded the ACHP a reasonable opportunity to comment on the Undertaking. This Agreement may be executed in any number of counterparts and each counterpart shall be deemed to be an original document. All executed counterparts together shall constitute one and the same document, and any counterpart signature pages may be detached and assembled to form a single original document.

SIGNATORIES:

PRESIDIO TRUST

By:  Date: 10/21/10

Name: Craig Middleton

Title: Executive Director

709 **ADVISORY COUNCIL ON HISTORIC PRESERVATION**

710 By: John M. Fowler Date: 10/26/10

711 Name: John Fowler

712 Title: Executive Director

713

714 CALIFORNIA STATE HISTORIC PRESERVATION OFFICER

715 By: Milford Wayne Donaldson Date: 22 OCT 2010

716 Name: Milford Wayne Donaldson, FAIA

717 Title: State Historic Preservation Officer

718

719 NATIONAL PARK SERVICE

720 By: Frank Dean Date: Oct. 22, 2010 By: Christine S. Lehnertz Date: 10/25/10

721 Names: Frank Dean

Christine S. Lehnertz

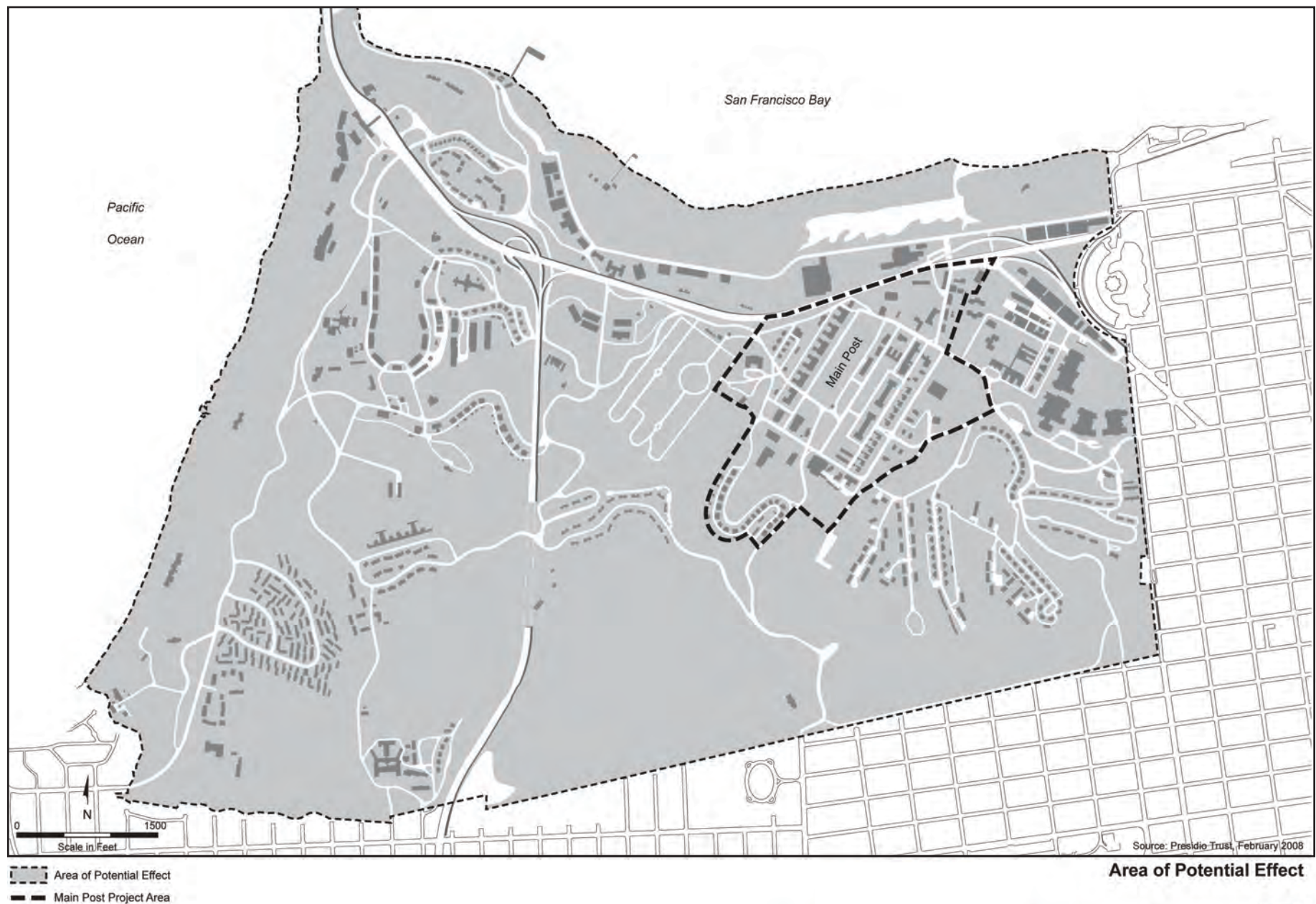
722 Titles: Superintendent, Golden Gate National

Director, Pacific West Regional Office

723 Recreation Area

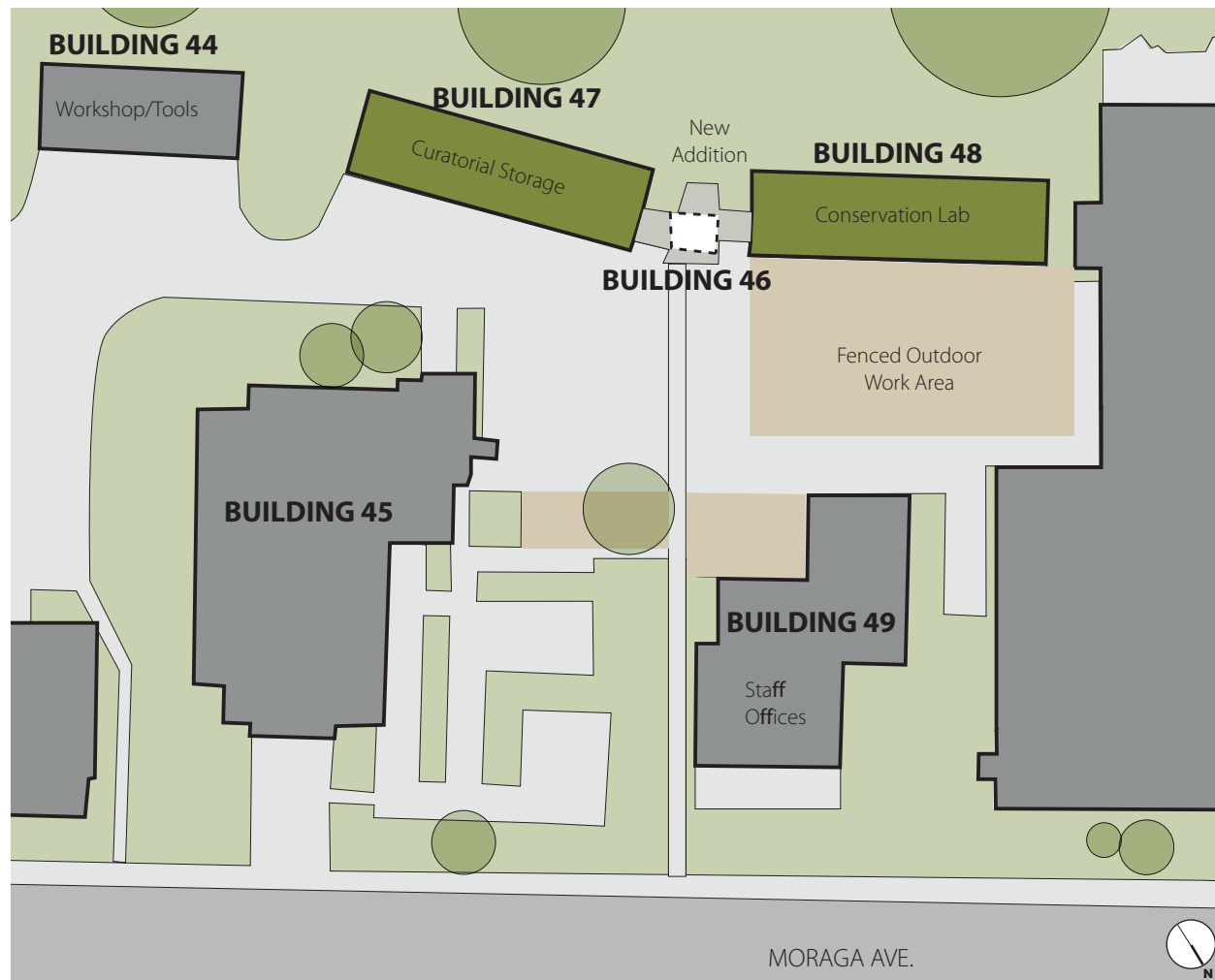
724 **LIST OF APPENDICES**

- 725 Appendix A: Area of Potential Effect (APE) for the Main Post Update (Undertaking)
- 726 Appendix B: Final Finding of Effect for the Main Post Update (July 2009)
- 727 Appendix C: Conceptual Site Plans for the Archaeology Lab and Curation Facility
- 728 Appendix D: Conceptual Site Plans for the Presidio Lodge
- 729 Appendix E: Conceptual Site Plans for the Presidio Theatre
- 730 Appendix F: Conceptual Site Plans for the Presidio Chapel
- 731 Appendix G: Conceptual Site Plans for Pedestrian Access and Parking Improvements
- 732 Appendix H: Conceptual Plans for the Main Parade Rehabilitation
- 733 Appendix I: Presidio Trust Programmatic Agreement (PTPA, 2002)
- 734 Appendix J: Glossary of Terms
- 735 Appendix K: Design Review Steps, Process for PA-MPU Projects



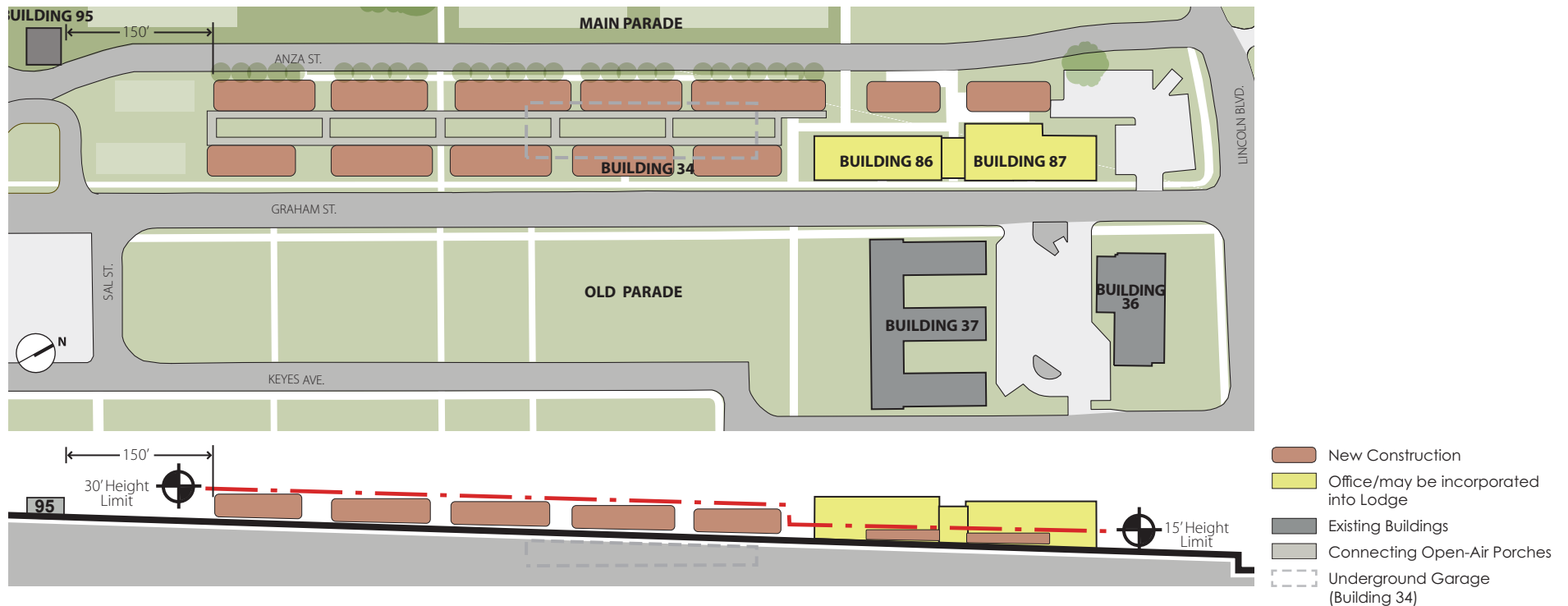
Appendix B: Final Finding of Effect

The Final Finding of Effect for the Main Post Update (FFOE, July 2009) can be found on the Trust website at:
http://library.presidio.gov/archive/documents/MP_FFOE_Jul2009.pdf



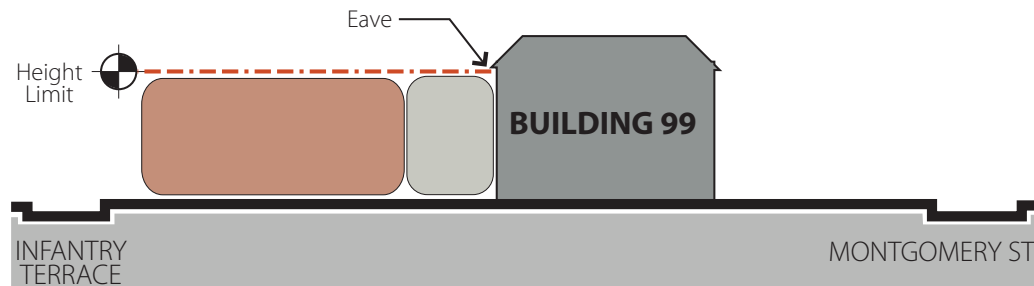
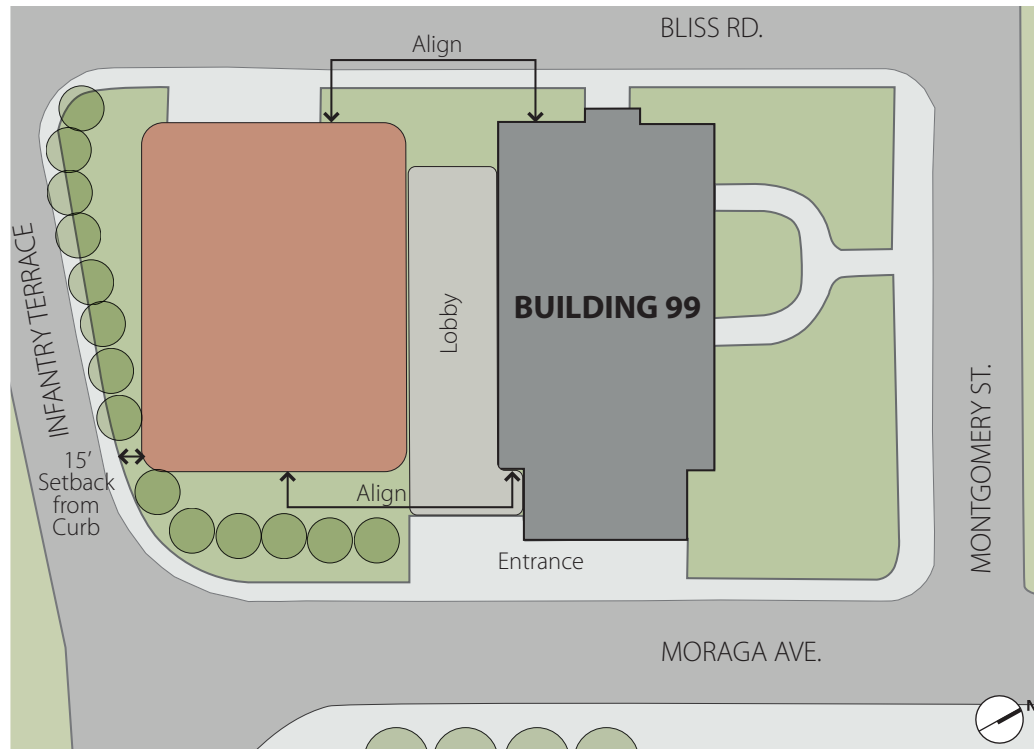
PROJECT PARAMETERS

- Rehabilitate NHL-contributing Buildings 47 and 48.
- Demolish NHL-contributing Building 46; provide HABS recordation for Building 46.
- Limit new construction to 500 square feet to connect Buildings 47 and 48; addition not to exceed the height of the roof ridge of Buildings 47 and 48.



PROJECT PARAMETERS

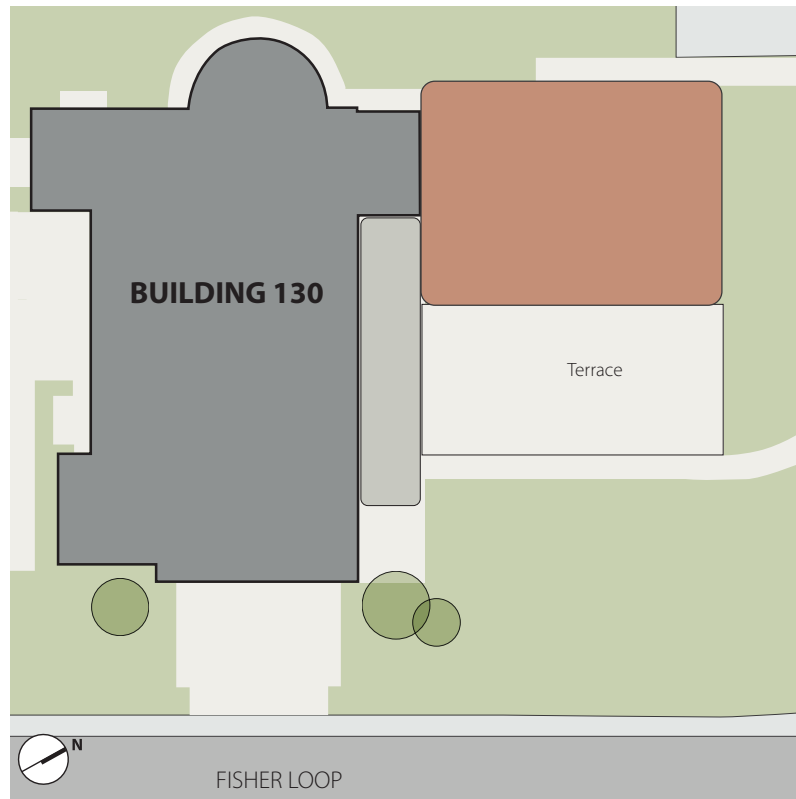
- Demolish non-NHL contributing Building 34.
- Limit new construction to 70,000 square feet.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction, guided by PA-MPU.
- Design the lodge to respond to Main Parade Ground rehabilitation design.
- Limit height of new construction to 30 feet above existing grade.
- Base the building footprint on the pattern of the historic barracks that once occupied the site between Graham Street and Anza Street.
- Set back the southern edge of new construction at least 150' from Building 95 to avoid El Presidio archaeology.
- Identification of buried archaeological features will be completed prior to final design to inform efforts to avoid or minimize adverse effects.
- An underground parking garage may also be constructed utilizing the basement of Building 34 to serve the Presidio Lodge (up to 50 spaces).
- Buildings 86 and 87 may be rehabilitated and incorporated into the Lodge.



PROJECT PARAMETERS

- Prepare an HSR for Building 99.
- Rehabilitate NHL-contributing Building 99, retaining its single auditorium and historic orientation to Moraga Avenue.
- Limit new construction to 18,000 square feet; limit height to the eave of the existing theater.
- Pull new construction away from the historic building with a transparent connector.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction guided by the PA-MPU.

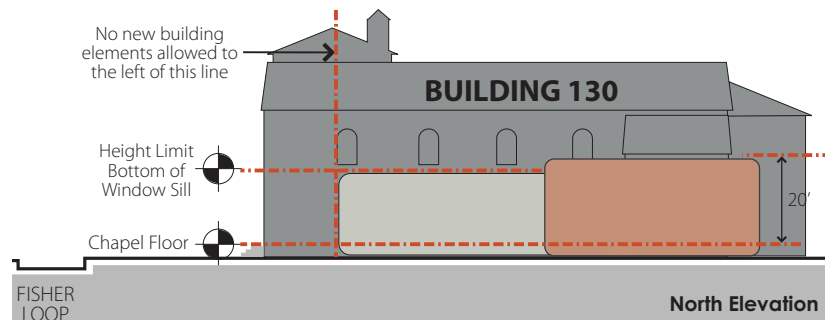
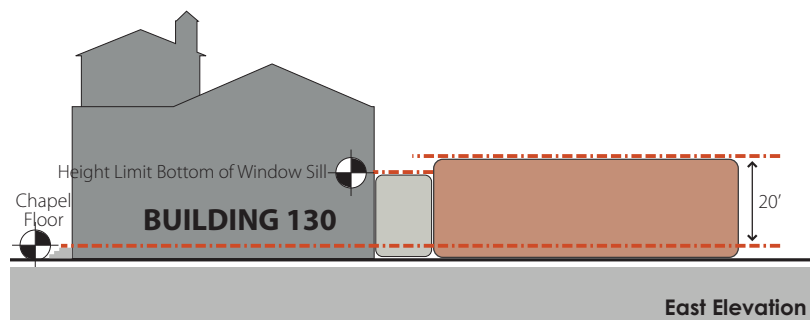
- New Construction
- Existing Historic Theater
- Connecting Structure

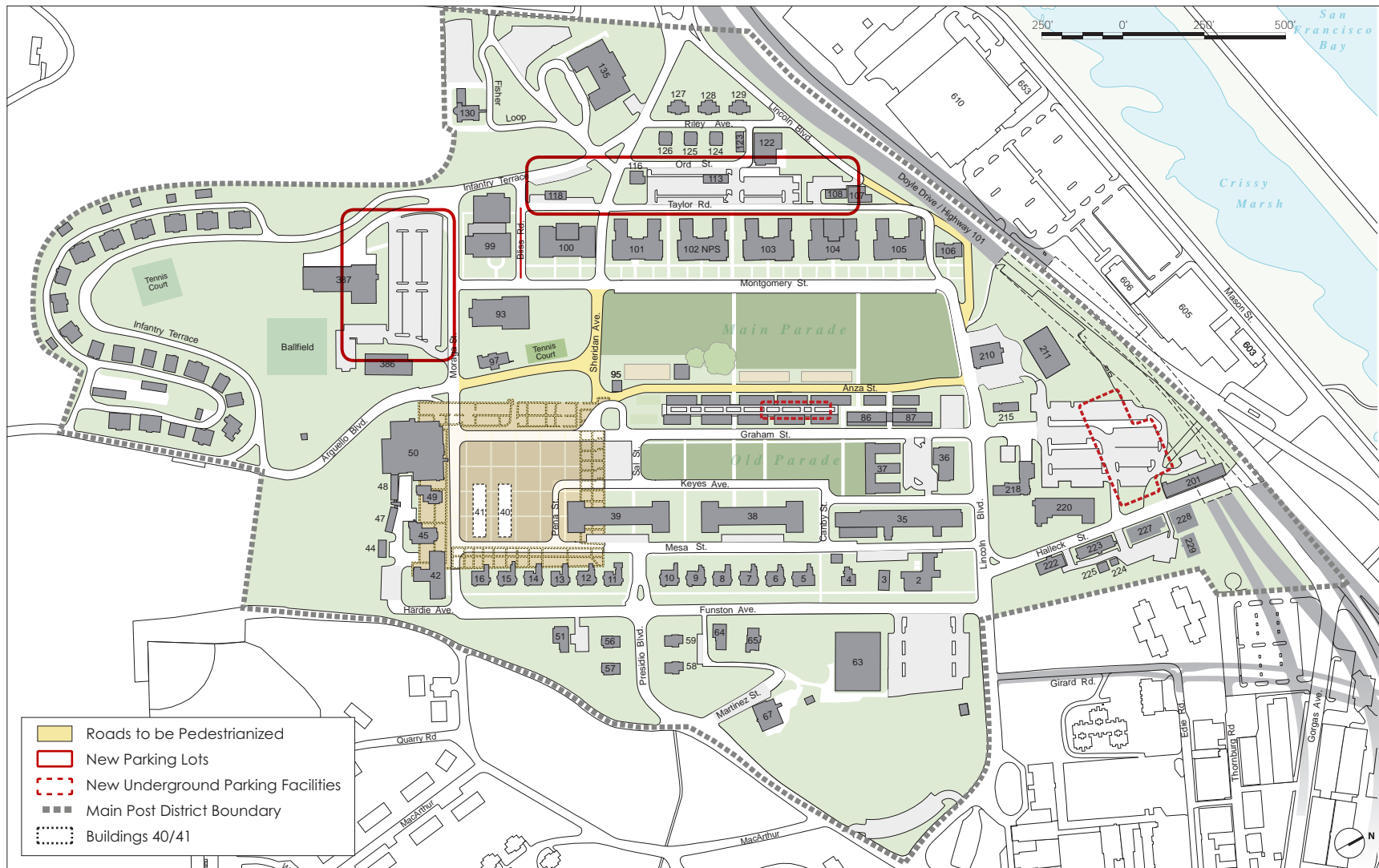


PROJECT PARAMETERS

- Prepare an HSR for Building 130.
- Rehabilitate NHL-contributing Building 130.
- Limit new construction to 4,000 square feet on the west of building 130; limit the height of the connecting structure to the sills of the west elevation windows and the height of new construction to 20 feet above finished floor level.
- Orient the addition to be perpendicular to the west wall of the sanctuary, allowing a large portion of the west wall to be visible.
- Apply design guidelines and HSR treatment recommendations; design review process for new construction guided by PA-MPU.

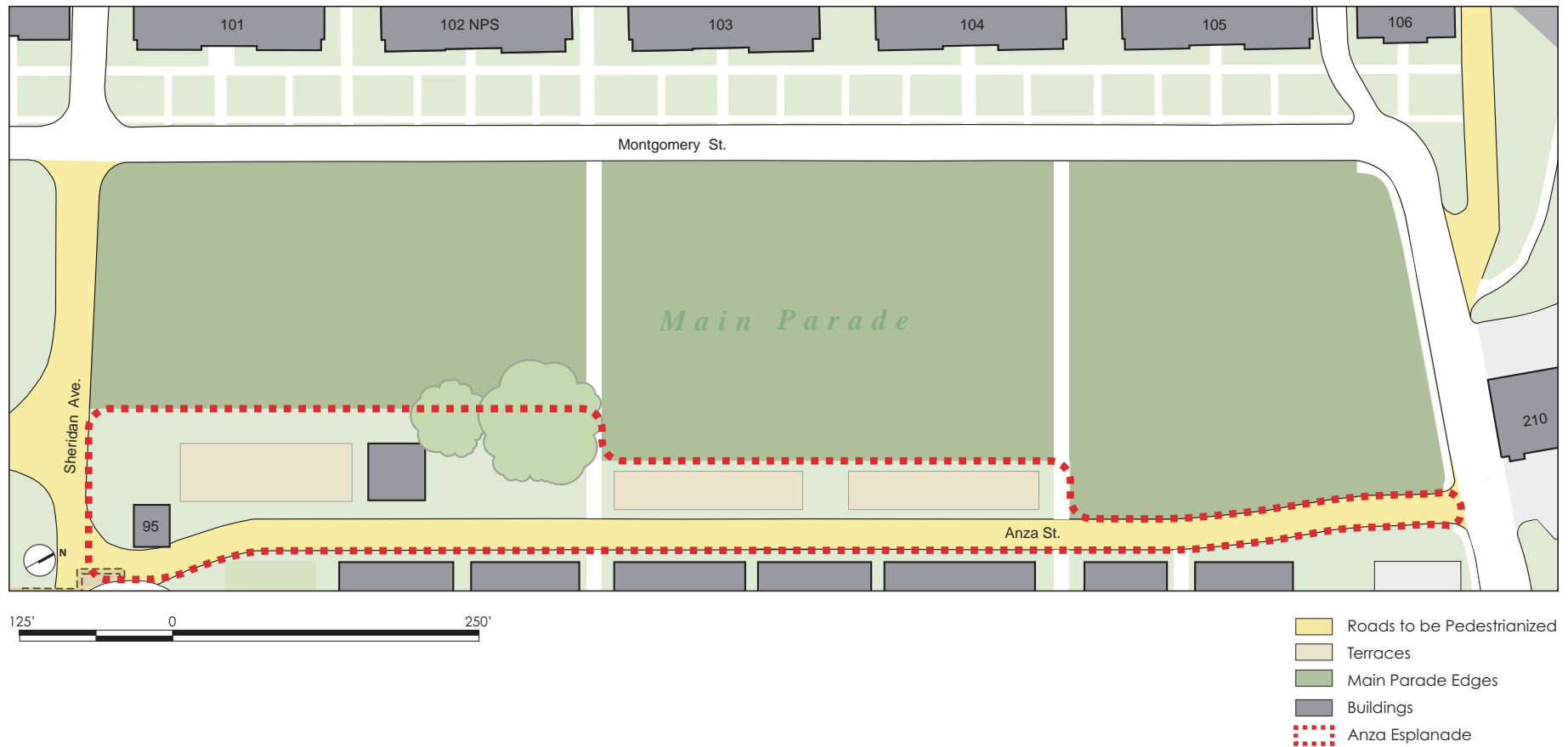
- New Construction
- Existing Historic Chapel
- Connecting Structure





PROJECT PARAMETERS

- Traffic signals will not be installed in the Main Post.
- Portions of the NHL-contributing Arguello Boulevard and Sheridan Avenue will be converted to pedestrian use.
- Current widths and alignments of NHL-contributing roads will be retained; roads will be resurfaced with a historically compatible paving material.
- Identification of buried archaeological features will be completed prior to final design to inform efforts to avoid or minimize adverse effects.
- Taylor Street parking lot will retain historic garages, Buildings 113 and 118; Moraga Avenue parking lot will retain Building 386.



Appendix I: Presidio Trust Programmatic Agreement

The Presidio Trust Programmatic Agreement (PTPA) can be found on the Trust website at:
<http://library.presidio.gov/archive/documents/ProgrammaticAgreement.pdf>

Appendix J: Glossary of Terms

Programmatic Agreement for the Main Post Update

Area of Potential Effects (APE): The geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The area of potential effects is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking.

Avoidance: One of the three methods for resolving an adverse effect (along with minimization and mitigation) according to 36 CFR Part 800 – Protection of Historic Properties. Avoidance indicates that an action that would have caused an adverse effect will no longer occur (i.e. a building that was slated for demolition will be retained).

Adverse effect: Direct or indirect harm to historic properties listed on or eligible for inclusion in the National Register of Historic Places.

Compatibility: Consistent, congruous; capable of existing together in harmony. Used in the same context here as in the Secretary of the Interior’s Standards for Rehabilitation.

Conceptual plan: Initial designs that initiate the design development process, and include general concepts rather than detailed renderings.

Concurring Party: Consulting parties are invited by the agency official to concur with and sign the programmatic agreement. Concurring parties have been granted specific roles and responsibilities that are more limited than those of the signatory parties. Refusal of any party invited to concur does not invalidate the agreement document.

Connector: Enclosed or open spaces that function to connect buildings.

Construction document (CDs): Drawings, plans and specifications that are created for use by an architect and contractors for pricing and planning construction of a designed building or structure. This level of documentation follows Design Development.

Consultation: The process of seeking, discussing, and considering the views of other participants, and, where feasible, seeking agreement with them regarding matters arising in the section 106 process.

Cultural Landscape Report (CLR): A comprehensive document that includes documentation, analysis, and evaluation of historical, architectural, archaeological, ethnographic, horticultural, landscape architectural, engineering and ecological data as appropriate. Documentation is assessed to evaluate the history, significance, and integrity of the landscape including treatment recommendations appropriate for the landscape’s significance, condition and planned use, as well as documentation of implemented treatments.

Design Development (DD): The process that follows final schematic design, and lays out mechanical electrical, plumbing, structural and architectural details. Often this phase specifies design elements such as material types and location of windows and doors.

Design Guidelines: Policies that describe parameters, limits and directives to inform rehabilitation or new construction in order to avoid or minimize impacts to existing historic structures, features and landscapes.

Gross building area: Total floor area of a building, measured from its outside walls.

Footprint: The ground level square footage of a building.

Historic Structure Reports (HSR): A comprehensive document that provides documentary, graphic, and physical information about a property's history and existing condition to inform preservation planning and make treatment recommendations. The document can also be organized to meet site or project specific goals, such as research objectives or programmatic needs.

Infill construction: New construction that is located within an existing or formerly developed area, such as a building complex or row of buildings.

Minimization: One of the three methods for resolving an adverse effect (along with avoidance and mitigation) according to 36 CFR Part 800 – Protection of Historic Properties. Minimization indicates a method or measure designed to lessen the intensity of an impact on a particular resource (i.e. impacts related to new construction are made smaller by reducing or reallocating the total square footage of new construction).

Mitigation: One of the three methods for resolving an adverse effect (along with avoidance and minimization) according to 36 CFR Part 800 – Protection of Historic Properties. Mitigation indicates that a separate action is undertaken to compensate for, or otherwise address, an adverse effect (i.e. an agency develops a program to interpret an impacted resource).

Height: Measurement taken from the grade level to the highest point of a building. Does not include accessories or wiring that function to service a building.

Historic Property: Any prehistoric or historic district, site, building, structure, or object included in, or eligible for inclusion in, the National Register of Historic Places maintained by the Secretary of the Interior. This term includes artifacts, records, and remains that are related to and located within such properties. The term includes properties of traditional religious and cultural importance to an Indian tribe or Native Hawaiian organization and that meet the National Register criteria.

Invited Signatory: An agency or organization that is invited by the agency official to be a signatory to a programmatic agreement, and has the same rights as required signatories.

Public: Any interested individual or group that has not signed the agreement document as either a signatory or concurring party.

New Construction: Additional net square footage of built space, excluding landscape improvements and other open space amenities.

National Historic Landmark (NHL): A nationally significant historic place designated by the Secretary of the Interior because it possesses exceptional value or quality in illustrating or interpreting the heritage of the United States. The Presidio was designated an NHL in 1962.

National Historic Preservation Act (NHPA): Federal legislation passed in 1966 that is intended to preserve historical and archaeological sites in the United States. The act created the National Register of Historic Places, the list of National Historic Landmarks, and the State Historic Preservation Offices. Among other things, the act requires Federal agencies to evaluate the impact of all federally funded or permitted projects on historic properties (buildings, archaeological sites, etc.) through a process known as Section 106 review.

Plan (or Plan View): A drawing made to scale to represent the top view or a horizontal section of a structure, (i.e. a floor layout of a building).

Programmatic Agreement: A document that records the terms and conditions agreed upon to resolve the potential adverse effects of a Federal agency program, undertaking or other situations in accordance with § 800.14(b).

Public Meeting: An in-person gathering whereby the agency presents up-to-date information on projects, takes questions, and engages in a dialogue with interested parties

Rehabilitation: According to the Secretary of the Interior's Standards, the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Resolution: A stage in the Section 106 process where adverse effects are addressed through avoidance, minimization or mitigation. Resolution typically concludes with a Memorandum of Agreement (MOA) or Programmatic Agreement (PA). This part of the process is described in the NHPA regulations at 36 CFR 800.6.

Schematic design: The process that follows a conceptual design. It should include estimated square footage of each usage type and any other elements that achieve the project goals. During schematic design, an architect commonly develops study drawings that include spatial relationships, scale, and form. Schematic design also is the research phase of the project, when zoning requirements or jurisdictional restrictions are discovered and addressed.

Section 106: The section of the NHPA that requires federal agencies to consider the effects of their actions on historic properties and seek comments from an independent reviewing agency, the Advisory Council on Historic Preservation. The purpose of Section 106 is guide consultation to identify historic properties potentially affected by an undertaking, assess the effects of that undertaking, and seek ways to avoid, minimize or mitigate any adverse effects on historic properties.

Section 110: The section of the NHPA that sets out the broad historic preservation responsibilities of federal agencies to ensure that historic preservation is fully integrated into ongoing programs.

Signatory: Signatory parties are required participants in a programmatic agreement. They include the lead agency (in this case, the Trust), the ACHP, NPS and the SHPO. Signatory parties generally have enhanced roles and responsibilities as compared to signatory parties. These typically include the ability to terminate or amend an agreement document.

Square footage: The sum of all areas on all floors of a building, measured in feet.

Undertaking: A project, activity, or program funded in whole or in part under the direct or indirect jurisdiction of a Federal agency, including those carried out by or on behalf of a Federal agency; those carried out with Federal financial assistance; and those requiring a Federal permit, license or approval.

Appendix K: Design Review Steps, Process for PA-MPU Projects

PA-MPU Projects:

Archaeology Lab & Curatorial Facility	El Presidio: The Birthplace of San Francisco
Presidio Lodge	Pedestrian Access (Historic Road Conversions)
Presidio Theatre	Parking Improvements (Main Post Bluff Parking Facility)
Presidio Chapel	Parking Improvements (Moraga Avenue Parking Lot)
Parking Improvements (Taylor Road Parking Lot)	

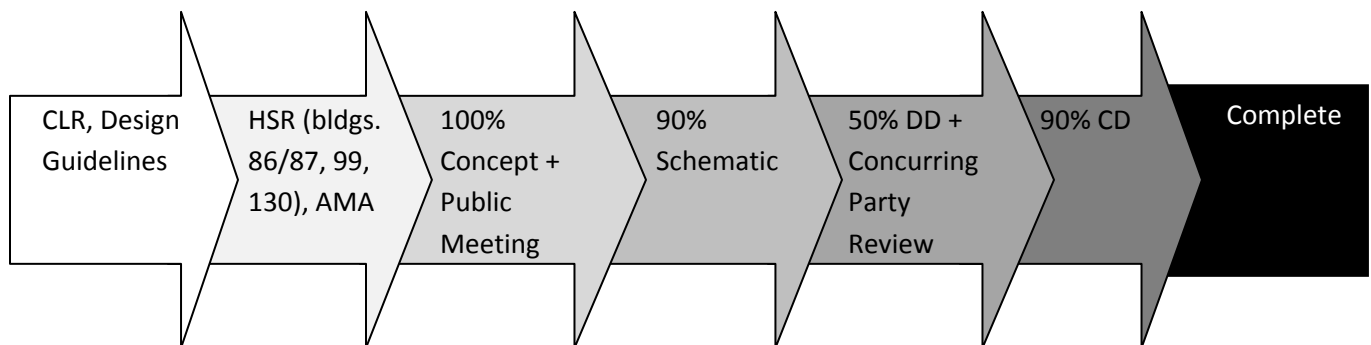
Review timelines for each phase: twenty-one (21) calendar days. Unless otherwise specified, review steps described below involve signatory parties only.

The Trust FPO or designee will be responsible for distributing design submissions and/or information for review. Design submittals and/or information will be made available via the Trust website (www.presidiotrust.gov), in hard copy in the Trust's Library, or in hard copy mailed upon request. Written comments from all parties on these design submissions received by the Trust within twenty-one (21) calendar days of the submissions will be considered. If a party does not comment within twenty-one (21) days, and does not notify the Trust and request an additional period that shall not exceed ten (10) days, the Trust may proceed. In the event that multiple review periods overlap, the Trust will consult with signatory parties to prioritize and determine alternative review timelines.

Group A:

Project(s): Presidio Lodge, Presidio Theatre, Presidio Chapel, El Presidio: The Birthplace of San Francisco, Parking Improvements (Main Post Bluff Parking Facility)

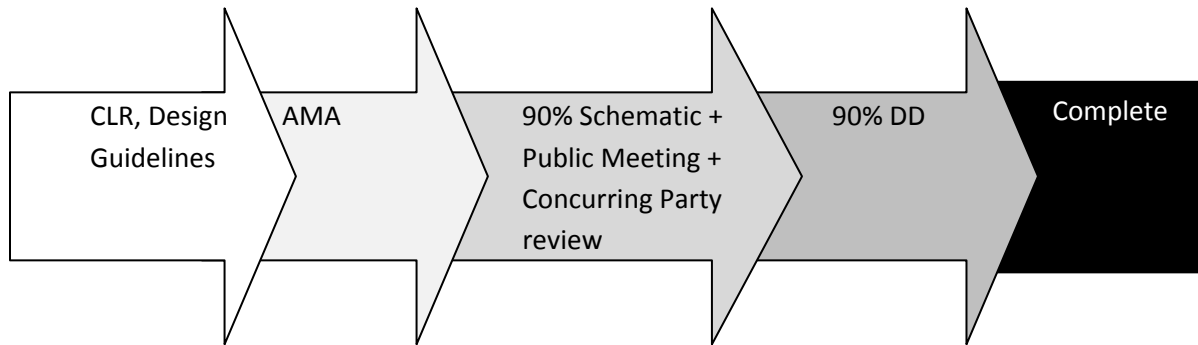
Review Process: Begins with conceptual design described by the project parameters in MPU and Appendix D of the PA-MPU, followed by the below sequence:



Group B:

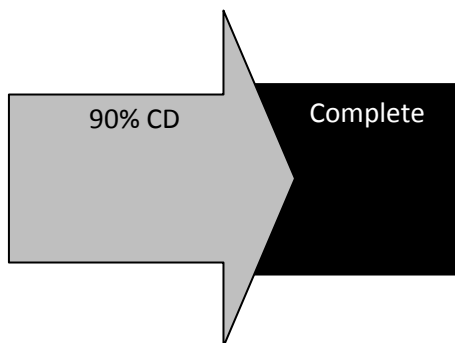
Project(s): Parking Improvements (Taylor Road Parking Lot, Moraga Avenue Parking Lot), Pedestrian Access (Historic Road Conversions)

Review Process: Begins with conceptual design described by the project parameters in MPU and Appendix G of the PA-MPU, followed by the below sequence:

**Group C:**

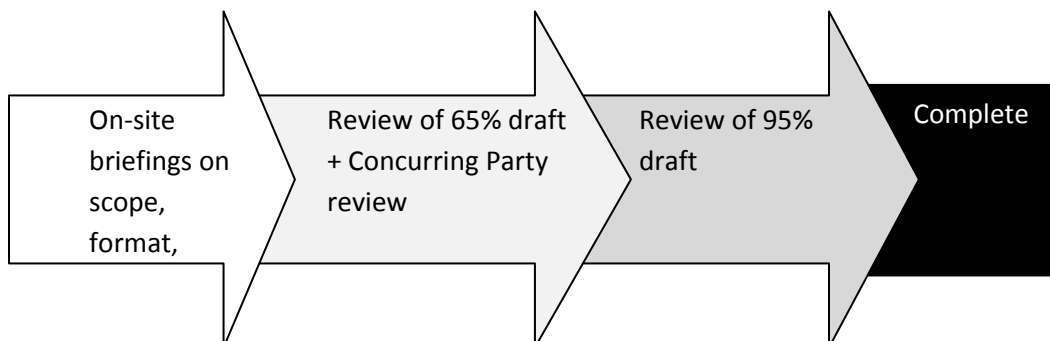
Project(s): Archaeology Lab & Curatorial Facility

Review Process: Conceptual, schematic, DD and 90% CDs are complete, project parameters in MPU, followed by the below sequence:



Process for Development of CLR, HSR's (for buildings 86/87, 99, 130), Archaeological Treatment Plans, Design Guidelines for the Main Post

Review timelines for each phase: 21 days



**AMENDMENT TO
THE PROGRAMMATIC AGREEMENT AMONG
THE PRESIDIO TRUST,
THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER,
THE NATIONAL PARK SERVICE, AND
THE ADVISORY COUNCIL ON HISTORIC PRESERVATION,
FOR
THE MAIN POST UPDATE TO THE PRESIDIO TRUST MANAGEMENT PLAN
PRESIDIO OF SAN FRANCISCO NATIONAL HISTORIC LANDMARK,
SAN FRANCISCO, CALIFORNIA**

WHEREAS, the Agreement was executed in December 2010;

WHEREAS, in 2015 the Presidio Trust sought to include a provision whereby projects under this agreement document could participate in the Federal Historic Preservation Tax Incentives program;

NOW, THEREFORE, in accordance with Stipulation VI.A of the Agreement, the Presidio Trust, National Park Service, California State Historic Preservation Officer and Advisory Council on Historic Preservation agree to amend the Agreement as follows:

II.C.3. MPU Undertakings and the Federal Historic Preservation Tax Incentives Program.

A. For an undertaking described under Stipulation II.A.1 that also seeks Federal Historic Preservation Tax Incentives, the Trust shall substitute the following steps for the process described in Appendix K.

This process shall proceed as follows:

- i. The Trust shall prepare a consultation package in order to notify signatory and concurring parties to this agreement in writing that an Applicant has come forward with a proposal to rehabilitate a building identified in Stipulation II.A.1 and to participate in the Federal Historic Preservation Tax Incentives program.
- ii. In addition to the notification the consultation package shall include the following information:
 - a. Confirmation that the appropriate Historic Structure Report (HSR) and Archaeological Management Assessment are adequate and complete in support of the undertaking in accordance with Stipulation II of this PA;
 - b. The Trust will propose in writing to the signatory and concurring parties a revision of the previous finding of adverse effect (Revised Finding of Effect) to a finding of “no adverse effect” with conditions (in accordance with 36 CFR 800.5(b)) for the proposed rehabilitation undertaking seeking Federal Preservation Tax Credit certification. The Trust will cite that the conditions for achieving this finding of “no adverse effect” will be;

- i. Certification of the project through the Federal Historic Preservation Tax Incentive review process, ensuring consistency with the Secretary's Standards for the Treatment of Historic Properties (Standards); and
 - ii. Concurrence from the signatory parties with the Trust's assessment that the undertaking avoids indirect and cumulative adverse effects to the NHL.
- c. Documentation to support the finding as specified in 36 CFR 800.11, including a description of the undertaking and an assessment of indirect and cumulative effects;
- d. A request for signatory, concurring party, and public comment on the proposed Revised Finding of "no adverse effect with conditions" for the proposed rehabilitation undertaking, along with the Trust's assessment of indirect and cumulative effects within 30 days of receiving the consultation package;
- e. A request for formal concurrence from the Signatory Parties that the undertaking will not cause indirect or cumulative adverse effects; and
- f. A date for a Public Information Session on the undertaking proposal. The date of the Public Information Session shall be no fewer than 30 days after the date of the consultation package.
- g. Direct effects will be assessed through the tax credit review process as described in 36 CFR Part 67.
- iii. In coordination with the release of the consultation package, the Trust will announce the Public Information Session via eNews or equivalent, and make the contents of the package available on the Trust's website.
- iv. The Applicant shall submit Parts 1 and 2 of the Tax Credit application in coordination with the release of the consultation package.
- v. The Trust shall hold a Public Information Session to present the proposed rehabilitation undertaking. Information presented at the Public Information Session shall include:
 - a. A description of the proposed rehabilitation undertaking; and
 - b. A summary of the Trust's assessment of the proposed rehabilitation undertaking's indirect and cumulative effects based on the proposal.
- vi. Comments received in writing regarding the proposed rehabilitation undertaking during the 30-day comment period and at the Public Information Session will be posted to the Trust's website and considered by the Trust.
- vii. The signatory parties will have 15 days following the Public Information Session to consider all comments, and to concur with the Trust's finding that the proposed

rehabilitation undertaking will not have indirect or cumulative adverse effects. A signatory party may request an extension on this period not to exceed an additional 15 days.

a. If the signatory parties do not concur, the signatory parties will provide reasons for not concurring with the Trust's assessment, and continue to consult until concurrence is reached for how to modify the proposal to avoid adverse indirect or cumulative effects. Consultation shall not exceed 30 days.

b. If concurrence is not reached on the finding, consultation should proceed according to the terms of Stipulation V (Dispute Resolution).

viii. If the proposed rehabilitation undertaking receives approval of the Part 2 application through the Federal Preservation Tax review, the Trust will notify the signatory parties that the proposal meets the Standards and will not have direct adverse effects on the property.

ix. Once approval of the Part 2 application has been received, and concurrence on indirect and cumulative effects has been reached under part viii above, Section 106 review is complete.

x. In the event that the Part 2 application is not approved through the Federal Historic Preservation Tax Incentive review process, further review of the undertaking will revert to the process described under Appendix K appropriate to the project, or the project may be modified or completely withdrawn.

B. Monitoring and Modifications

i. The Trust shall monitor the proposed rehabilitation undertaking during the construction phase for compliance with the Finding of No Adverse Effect.

ii. If the Applicant proposes an Amendment to the approved Tax Credit Project Scope of Work, the Trust and Applicant shall proceed as follows:

a. The Applicant will submit an Amendment for review under the Tax Credit Review Process for compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties in order to avoid direct adverse effects.

b. Trust will assess if the Amendment constitutes a change to the finding of no adverse indirect or cumulative effect.

1. If the Trust determines that the Amendment will not constitute an adverse indirect or cumulative effect, it will notify signatory parties of this finding via electronic mail.

i. If the signatory parties do not concur, the signatory parties will provide reasons for not concurring with the Trust's assessment via electronic mail within five business days.

ii. Signatory parties will continue to consult until concurrence is reached for how to modify the proposal to avoid adverse indirect or cumulative effects. Consultation shall not exceed 30 days.

iii. If concurrence is not reached on the finding, consultation should proceed according to the terms of Stipulation V (Dispute Resolution).

2. If the Trust determines that the Amendment constitutes an indirect or cumulative adverse effect, the Trust will notify signatory parties of this finding via electronic mail, and will work with the Applicant to modify the proposal to avoid the adverse indirect or cumulative effect.

3. If the Applicant cannot or will not modify the Amendment to avoid the adverse indirect or cumulative effect, the Trust will notify signatory parties of the adverse effect finding and request consultation on ways the project could be changed to avoid the adverse effect. Consultation on the resolution measures shall not exceed 30 days.

c. If the amendment is not approved through the Tax Credit Review and won't be modified to meet approval, or if the consultation to resolve indirect or cumulative effects is unsuccessful, and the Trust intends to proceed with the undertaking, consultation to resolve the adverse effect should proceed according to 36CFR 800.6.

iii. The Trust shall document the work, along with the rest of the undertaking, in its annual Section 106 report in accordance with Stipulation IV.A of this PA.

Process for Reviewing PA-MPU Projects in Coordination with the Federal Historic Preservation Tax Incentives Program:

CLR, Design Guidelines	HSR, AMA	Revised FOE + announcement of the Public Information Session (30-day comment period: public, concurring, signatory comment)	Public Information Session (public, concurring, signatory participation)	Part 2 certified, concurrence on cumulative and indirect effects reached (30 days or more)	Amendments (as necessary)
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EXECUTION of this Amendment by the Trust, NPS, and SHPO and implementation of its terms evidence that the Trust has taken into account the effects of this undertaking on historic properties and afforded the ACHP an opportunity to comment.

SIGNATORY:

Presidio Trust

 Date

Michael Boland, Acting Executive Director

INVITED SIGNATORY:

National Park Service

_____ Date

Pacific West Regional Director

SIGNATORY:

California State Historic Preservation Officer

_____ Date

Julianne Polanco, California SHPO

SIGNATORY:

Advisory Council on Historic Preservation

_____ Date

Mr. John M. Fowler, Executive Director

Appendix E

PRESIDIO TRUST - 2013 ANNUAL

REPORT LIST OF ACRONYMS

Advisory Council for Historic Preservation (ACHP)
Americans with Disabilities Act (ADA)
American Institute for Conservation of Historic and Artistic Works (AIC)
Area of Potential Effect (APE)
Association for Preservation Technology (APT)
Built Environment and Archaeology Treatment Plans (BETP and ATP)
California Office of Historic Preservation (OHP)
Center for Digital Archaeology (CoDA)
Certificate of Compliance (COC)
Cultural Landscape Report (CLR)
Cultural resource inventory report and finding of effect (CRIR-FOE)
Design development (DD)
Environmental Assessment (EA)
Federal Highways Administration (FHWA)
Federal Preservation Officer (FPO)
International Center to End Violence (ICEV)
National Park Service-Technical Preservation Services (NPS-TPS)
Historic American Building Survey (HABS)
Historic American Engineering Record (HAER)
Historic American Landscape Survey (HALS)
Historic Structure Report (HSR)
Leadership in Engineering and Environmental Design (LEED)
Military Intelligence Service (MIS)
National Environmental Policy Act (NEPA)
National Japanese American Historical Society (NJAHS)
National Historic Landmark (NHL)
National Historic Preservation Act (NHPA)
National Park Service (NPS)
National Park Service - Pacific West Regional Office (NPS-PWRO)

National Park Service - Golden Gate National Recreation Area (NPS-GOGA)

National Register of Historic Places (NRHP)

National Trust for Historic Preservation (NTHP)

Neighborhood Associations for Presidio Planning (NAPP)

Presidio Historical Association (PHA)

Presidio Trust (Trust)

Presidio Trust's Programmatic Agreement for the Main Post Update (PA-MPU)

Presidio Trust's Programmatic Agreement (PTPA)

Public-private partnership (P3)

National Historic Landmark District (NHLD)

San Francisco Conservation Corps (SFCC)

San Francisco Architectural Heritage (SFAH)

San Francisco County Transportation Authority (SFCTA)

State Historic Preservation Officer (SHPO)

U.S. Coast Guard (USCG)

Appendix F

ARCHAEOLOGICAL IDENTIFICATION PLAN NEW PRESIDIO PARKLANDS PROJECT

Prepared by

Kari Jones
Archaeologist
Presidio Trust

Prepared for

Paula Cabot
Senior Project Manager
Planning and Capital Projects
Presidio Trust

May 2016

ARCHAEOLOGICAL IDENTIFICATION PLAN: NEW PRESIDIO PARKLANDS

I. PURPOSE AND BACKGROUND

Archaeological identification is any investigation that is designed to determine the presence or absence of archaeological deposits within a specified area. The purpose of this Archaeological Identification Plan (AIP) is to ensure that significant archaeological resources within the proposed New Presidio Parklands Project Area are identified prior to project implementation to ensure that adverse effects to contributing elements of the Presidio National Historic Landmark District (NHL) are avoided. This AIP was prepared in accordance with the Archaeological Management Assessment (AMA) for the New Presidio Parklands Project (Jones 2015). The AMA should be consulted for more detailed background information.

II. PROJECT DESCRIPTION

The New Presidio Parklands Project (Project) is an approximately 14-acre area located in the Main Post, Crissy Field, and Letterman districts in the Presidio of San Francisco. The Project site is bounded to the south by Lincoln Boulevard, to the east by Halleck Street, and to the west by the western edge of the Main Post Tunnels and the Building 610 parking area. The Project includes construction of new park land that connects the Main Post to Crissy Field. This AIP was prepared in response to the 100% Schematic Design documents issued March 11, 2016. For the purposes of this plan, the primary components of the Project are divided into a Northern Project Area and Southern Project Area (See Figure 1).

Southern Project Area:

- Creation of a new gathering space (Zocalo) around the future Visitor Center (Building 210) and Transit Center (Building 215)
- Demolition of the existing Observation Post (Building 211)
- Construction of a new Observation Post building north of the Transit Center (Building 215)
- Creation of a landscaped area over the Main Post Tunnels and a sloping embankment along the side of the tunnels with a terraced amphitheater
- Landscaping that includes a Western Hollow and an Eastern and Central Lawn
- A series of overlooks (Zocalo, Western, Eastern, and Central)

Northern Project Area:

- Renovation of the existing Crissy Field Center (Building 603)
- Construction of a new Field Station and Classroom Labs behind (south of) the Crissy Field Center (Building 603)
- Construction of the Learning Landscape, an outdoor immersive play environment.

Several components of the planned work require ground-disturbing activities in or adjacent to predicted archaeological areas of the Presidio NHL: Quartermaster Complex and Stream Ravine Dump in the Southern Area and the Quartermaster Dump in the Northern Area.

Figure 1. Project Site

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III. PREDICTED ARCHAEOLOGICAL AREAS

PHAF #18: Quartermaster Complex 1870s-1910s

The Quartermaster Complex archaeological area is *predicted* based on historic maps and documentary evidence. The complex was a series of buildings and structures such as stables, a bakery, blacksmiths, shops, and storehouses located at the north end of the Main Post. On the 1870 map, the complex is located at the northwestern end of the old parade ground. By 1880, the Quartermaster had expanded the facilities to the north end of the Main Post. In total, 21 buildings and structures were part of the complex.

Most of the buildings were removed prior to 1915, but a few remained in use through World War I. The footprint of the Quartermaster Complex lies under parking lots and the following extant 20th century buildings: former guardhouse, fire station, former bakers' and cooks' school and barracks, cafeteria, bus shelter (Buildings 210, 218, 220, 211, and 215 respectively).

Physical Integrity

The physical integrity of the Quartermaster Complex is expected to be low to moderate. Parts of the Quartermaster Complex were likely impacted by the construction of various twentieth-century structures. Archaeological monitoring of the Bank Street Project in 1997 was targeted to find trash deposits associated with the Quartermaster Complex, but identified refuse derived from other areas of the Presidio instead (Ambro 1997). These deposits were subsequently interpreted to be associated with the Stream Ravine Dump Archaeological Area (discussed below). However, a concrete floor and associated brick gutter that were encountered could possibly be remnants of the Quartermaster complex stables. Archaeological testing by Jones & Stokes in 2002 revealed a series of complex fill episodes across the area and recovered a series of non-diagnostic materials but no intact structural remains (Jones and Stokes 2002).

PHAF #19: Quartermaster Dump 1890-1915

The Quartermaster Dump archaeological area is *known* to contain archaeological deposits based on investigations in Area A during the Crissy Field Archaeology Project (Clark and Ambro 1999; Barker and Barnaal 2008) and an inadvertent discovery in Area B (in the current project area) during remediation efforts (Massey 2010). It consists of a series of landfills dispersed over as much as 18 acres of the bayfront landscape of the Presidio. Outside of known deposits, the location of the Quartermaster Dump area is predicted based on historic maps.

Physical Integrity

The physical integrity of the Quartermaster Dump in the project area is unknown, but artifact densities are expected to be very high in any intact portions. Portions of the Dump in Area A were removed during the restoration of Crissy Marsh by the National Park Service (NPS) during the late 1990s (Clark and Ambro 1999; Barker and Barnaal 2008). The NPS's Crissy Field Archaeology Project conducted excavations in advance of the marsh's construction, sampling a significant portion of the site and generating a collection of over one million artifacts. A portion of the Quartermaster Dump was also encountered during archaeological monitoring for a Presidio Trust Remediation Project in 2008 (Massey 2010). A limited controlled excavation was undertaken adjacent to the area of inadvertent discovery, resulting in the collection of just over 1,000 objects.

The location of the Quartermaster Dump outside of archaeological discoveries is predicted based on historic maps. The addition of fill and the construction of parking lots over portions of the dump may have preserved some subsurface deposits by capping them in place. However, the integrity of the predicted archaeological site has likely been impacted by subsequent installation of utilities and the construction of buildings.

The 2008 ASC investigations in Area B (Massey 2010) revealed at least 3.5 feet of overburden (non-historic fill) over the deposit. This investigation, along with the Presidio Elevation Change Model (Blind and Barnaal 2008), suggest that any deposits in the Project area will be buried below 3 feet below current ground surface. Archaeological monitoring of geophysical and remedial characterization trenching conducted in April 2016 within the Project area, revealed no evidence of buried archaeological deposits (see below). Archaeological identification testing for a proposed expansion of the Concrete Deep Soil Mixing (CDSM) for the Presidio Parkway Project in the eastern portion of the predicted site location was also negative (Cogstone 2015).

Finally, as-built drawings for the construction of Building 605 in 1971 suggest that ground disturbance for the construction of the building was extensive and would have removed any buried archaeological deposits (GGNRA PA). Observations by archaeological monitors during demolition of former Building 605 for the New Presidio Parkway Project in July 2010 confirmed that the construction of Building 605 removed any intact archaeological deposits in the footprint of the building (ICF 2010). No archaeological materials were observed during monitoring for over-excavation for the removal of the grade beams and piles for the foundation of Building 605. The predicted location of the Quartermaster Dump Archaeological Area has not been revised with this information, but the recommendations in this AIP do incorporate these findings.

PHAF #17: Stream Ravine Dump 1776-1893

The Stream Ravine Dump archaeological area is *predicted* based on the presence of a stream ravine that bisected the Main Parade historically. The location of the Stream Ravine Dump area is predicted from historic maps that depict the course of the stream ravine before it was filled by the Army in 1893. Given trash disposal practices of the 19th Century, it is likely that trash was deposited in the stream ravine to be washed away, preventing trash buildup on the post. Additionally, the Presidio needed to provide space not only for military activities but also for domestic work and the Stream Ravine Dump Area would have been an attractive and convenient location for such activities.

Physical Integrity

The Stream Ravine Dump Area was substantially filled to create a level surface in 1893. This capping of the deposit may have preserved the archaeological features, including work spaces and refuse deposits. The Stream Ravine Dump Area is currently capped by the Main Parade Lawn. In the current Project area, it is capped by fill and an open area of informal landscaping.

Before the ravine was filled, flowing water would have washed away lighter elements of the refuse while leaving the heavier items. Because of this, the stream bed is not expected to be an undisturbed midden but a moderately intact historic trash dump. Because of the nature of filling in the ravine to make it level ground, the depth of the cultural deposit varies across the area. On the edges of the ravine, where work activities may have taken place, the fill is thinner and features could be located at relatively shallow depths. These deposits also have greater potential to have been disturbed by more recent historical activities including utilities and other infrastructure. Fill increases toward the middle of the

ravine, which was packed with up to 25 feet of material to create the flat Main Parade surface. In this area, archaeological deposits will be deeply buried and are expected to retain a high degree of integrity.

Geoarchaeological analysis identified areas around the Stream Ravine Dump that are sensitive for archaeological deposits dating to prehistoric and/or historic periods (Kaijankoski 2008). Six soil core samples were analyzed but only one sample taken west of Anza Street and north of Owen Street recovered historic archaeological materials. A water line upgrade project, which included Anza Street, revealed a trash deposit located approximately 40 feet northwest of Building 34 (Presidio Trust 2010). Additionally, trash recovered at significant depths during the Bank Street Project (Ambro 1997) and the Doyle Drive Replacement Project (reports forthcoming) may be associated with the Stream Ravine Dump.

IV. PREVIOUS IDENTIFICATION EFFORTS

In addition to archival research, archaeological identification efforts in the Project area have included archaeological testing, monitoring, and inadvertent discoveries. Relevant field studies are summarized in this section and locations of test trenches and identified features are depicted on Figure 2.

[Bank Street Monitoring and Data Recovery \(Ambro 1997\)](#)

Archaeological monitoring of construction for Bank Street Project identified a number of buried historic features. These include a potential privy, a concrete feature of unknown function and date, two trash deposits, a wooden drain structure, and a portion of the old Bank Street itself (Ambro 1997). The portions of these features discovered during the Bank Street Project were removed during installation of the planned utilities (water lines and a storm drain). Of these features, only the concrete feature is within the vertical extent of the proposed project. This feature requires additional exposure to understand its function and association with the Quartermaster Complex.

[Doyle Drive Phase I Extended Survey and Phase II Evaluation \(Jones and Stokes 2002\)](#)

Archaeological testing for the Doyle Drive project was conducted in 2001 to identify and evaluate archaeological deposits within the focused area of potential effects for the project. Nine backhoe trenches were excavated within the current Project area. These were largely focused on locating evidence of the Quartermaster Complex Archaeological Area. No significant archaeological features were identified during this effort. One brick feature, interpreted as a potential manhole or cistern, was not determined to be significant.

[Quartermaster Remediation Project Excavations and Laboratory Analysis \(Massey 2010\)](#)

Remedial characterization testing in 2008 resulted in the inadvertent discovery of an intact portion of the Quartermaster Dump Archaeological Area adjacent to Building 603 (Crissy Field Center). Archaeologists from the Anthropological Studies Center of Sonoma State University conducted a small sample excavation within the discovered deposit. The 2.5 foot by 5 foot archaeological unit revealed archaeological deposits between 3 feet 9 inches below surface and 4 feet 3 inches below surface. Over one thousand artifacts were recovered from this sample unit. The objects and their depositional context were consistent with those recovered during the Crissy Field Archaeological Project (Clark and Ambro 1999). Artifacts were deposited on native ground surface, near the water table, during the 1880s and 1890s. The horizontal extent of this deposit is unknown and requires further study.

Figure 2. Previous Identification Efforts

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Doyle Drive Archaeological Monitoring (ICF 2010 and ICF 2011)

Archaeological monitoring for the Doyle Drive Project from 2010 to the present has not resulted in the discovery of any significant archaeological deposits within the current Project area.

Archaeological Testing and Monitoring for CDSM Package II Halleck Street (Cogstone 2015)

Archaeological testing was completed in 2015 to determine if deposits associated with the predicted Quartermaster Dump Archaeological Area were present in locations proposed for CDSM. This testing overlaps with the current Project area. No significant archaeological deposits were noted in the six test trenches or in trenches excavated for utility relocation.

Archaeological Monitoring of Geophysical and Remedial Testing (Miller Pacific, forthcoming)

In April 2016, Miller Pacific Engineering and AMEC Foster Wheeler conducted pre-construction testing for the current Project within the proposed Learning Landscape, Field Station, Classroom Labs, and toe of the embankment. Presidio Trust archaeologist Kari Jones monitored all trenches and directed excavation of select trenches to depths that would allow observation of the native ground surface in the predicted location of the Quartermaster Dump Archaeological Area. Sixteen trenches were excavated to depths ranging from 2 feet to 7 feet below current ground surface. The interface between native ground surface and imported sand fill was observed in two trenches. These observed interfaces did not follow the pattern of historic trash disposal on native ground surface that had been observed in the adjacent areas (Clark and Ambro 1999, Massey 2010). No cultural material was observed at these interfaces. Four additional trenches exceeded 3 feet below current ground surface, the depth at which the archaeological deposits were expected. These revealed disturbed historic fills and no intact cultural deposits. Findings consistently supported the conclusion that the construction and subsequent demolition of Buildings 605 and 606 removed archaeological deposits within these building footprints.

V. IDENTIFICATION PLAN

Plans for the northern project area are being designed to avoid archaeological deposits and are still in development. The new Field Station, Classroom Labs, and Learning Landscape are proposed to be constructed on at least three feet of fill, avoiding impact to buried archaeological deposits. Utilities to support the buildings and landscape may selectively penetrate historic ground surface, but current plans are expected to avoid archaeological resources. Specific locations for archaeological identification testing will be dependent on proposed utility locations and their vertical and horizontal overlap with the expected locations of the Quartermaster Dump Archaeological Area of the NHL. If necessary, additional identification recommendations will be made as project plans develop.

Southern Project Area

Figure 3 depicts the location of eight backhoe trenches proposed for the Southern Project Area. These are designed to identify deposits in areas proposed for ground disturbance. The presence or absence of archaeological deposits in these trenches will help guide design development to avoid significant archaeological resources. A qualified archaeological firm should be retained to conduct the recommended identification testing. Subsurface testing is only required in the area of direct impact. Backhoe trenches are proposed, but hand excavation should be employed, as appropriate, to characterize features.

Figure 3. Proposed Archaeological Trench Locations

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Trench 1

Trench 1 overlaps with the location of the concrete and brick feature discovered during archaeological monitoring for the Bank Street Project (Ambro 1997). Combining observations made by the archaeological monitor and limited archival research completed after the fact, Ambro (1997:19) speculated that the feature could be either a Guardhouse/Stockade from the 20th Century (1921-1946) a late 19th Century Stable (ca. 1906), or a Quartermaster Storehouse (ca. 1879). Ambro (1997:19) recommended broader exposure and additional archival research. Trench 1 is designed to intersect this feature and allow greater exposure to determine its date and function. Historic maps and archival research should be used to help evaluate the feature.

Trench 2

Trench 2 is within the footprint of the proposed new Observation Post and intersects the predicted location of a wall and a side yard of a Calvary Stables in the Quartermaster Complex (Hardesty 1893). This trench is designed to determine the presence or absence of structural remains of this building and any trash or outdoor features associated with it. Trench 2 is proposed to be 10 meters long and should proceed until culturally sterile soils are reached.

Trench 3

Trench 3 is within the footprint of the proposed new Observation Post and intersects the predicted location of a wall and side yard of a Calvary Stable in the Quartermaster Complex (Hardesty 1893). This trench is designed to determine the presence or absence of structural remains of this building and any trash or outdoor features associated with it. Trench 4 is proposed to be 10 meters long and should proceed until culturally sterile soils are reached.

Trench 4

Trench 4 is in an area of proposed for multiple utilities and grading to 3 feet. The trench is located between two Calvary Stables within the Quartermaster Complex (Hardesty 1893) and is designed to determine the presence or absence of trash or outdoor features associated with the Quartermaster Complex. Trench 4 is proposed to be 10 meters long and should proceed to the depth of proposed disturbance unless culturally sterile soils are reached first.

Trench 5

Trench 5 is in and adjacent to an area of proposed sanitary and storm sewer emplacement. The trench is located between Calvary Stables within the Quartermaster Complex (Hardesty 1893) and is designed to determine the presence or absence of trash or outdoor features associated with the Quartermaster Complex. Trench 5 is proposed to be 10 meters long and should proceed to the depth of proposed disturbance unless culturally sterile soils are reached first.

Trench 6

Trench 6 is in an area of a proposed cut for landscape grading. The trench intersects the predicted location of a wall and a side yard of a Calvary Stables in the Quartermaster Complex (Hardesty 1893). This trench is designed to determine the presence or absence of structural remains of this building and any trash or outdoor features associated with it. Trench 2 is proposed to be 10 meters long and should proceed to the depth of proposed disturbance unless culturally sterile soils are reached first.

Trench 7

Trench 7 is in an area of a proposed cut for landscape grading and a storm drain utility. The trench intersects the predicted location of a wall and a side yard of a Calvary Stables in the Quartermaster Complex (Hardesty 1893). This trench is designed to determine the presence or absence of structural remains of this building and any trash or outdoor features associated with it. Trench 7 is proposed to be 10 meters long and should proceed to the depth of proposed disturbance unless culturally sterile soils are reached first.

Trench 8

Trench 8 is in and adjacent to areas proposed for storm drain and water utilities. The trench is just west of the predicted location of a Quartermaster Stable in the Quartermaster Complex (Hardesty 1893) and is on the edge of the Stream Ravine Dump Archaeological Area. In addition to determining the presence or absence of remains associated with the Quartermaster Complex, this trench is designed to test predictions of the Presidio Elevation Change Model (PECM). The PECM suggests that the historic surface on which the Stream Ravine Dump was deposited is covered by 5 to 10 feet of 1890s fill material. The PECM indicates that the depth of fill should increase as the trench proceeds west. Observations in this trench will determine the applicability of the PECM in the Project area.

Additional excavation should be based on the findings in the initial eight trenches and may include a variety of unit types and sizes sufficient to characterize the archaeological integrity of the area. This additional testing is not expected exceed four 10-meter long backhoe trenches.

All excavation should be conducted according to cultural stratigraphy where possible and a stratigraphic matrix of deposits should be completed. Excavation should proceed to the depth of proposed disturbance or until culturally sterile soils are encountered. If archaeological features are located, they should be excavated only to the extent that they can be characterized. Any features or substantial deposits should be **protected in place** during testing investigations. All significant features will be reburied and plans for their preservation will be developed. Only diagnostic cultural materials noted during identification testing should be collected.

The AIP and its results should guide project design for the Project to help avoid impacts to archaeological resources. Only the Southern Project Area is included in this AIP. If necessary, a separate set of recommendations will follow for archaeological identification in the Northern Project Area. Following the completion of archaeological identification and the issuance of construction drawings, a project-specific Archaeological Monitoring Plan (AMP) will also be necessary to ensure that the project avoids adverse effects to archaeological resources.

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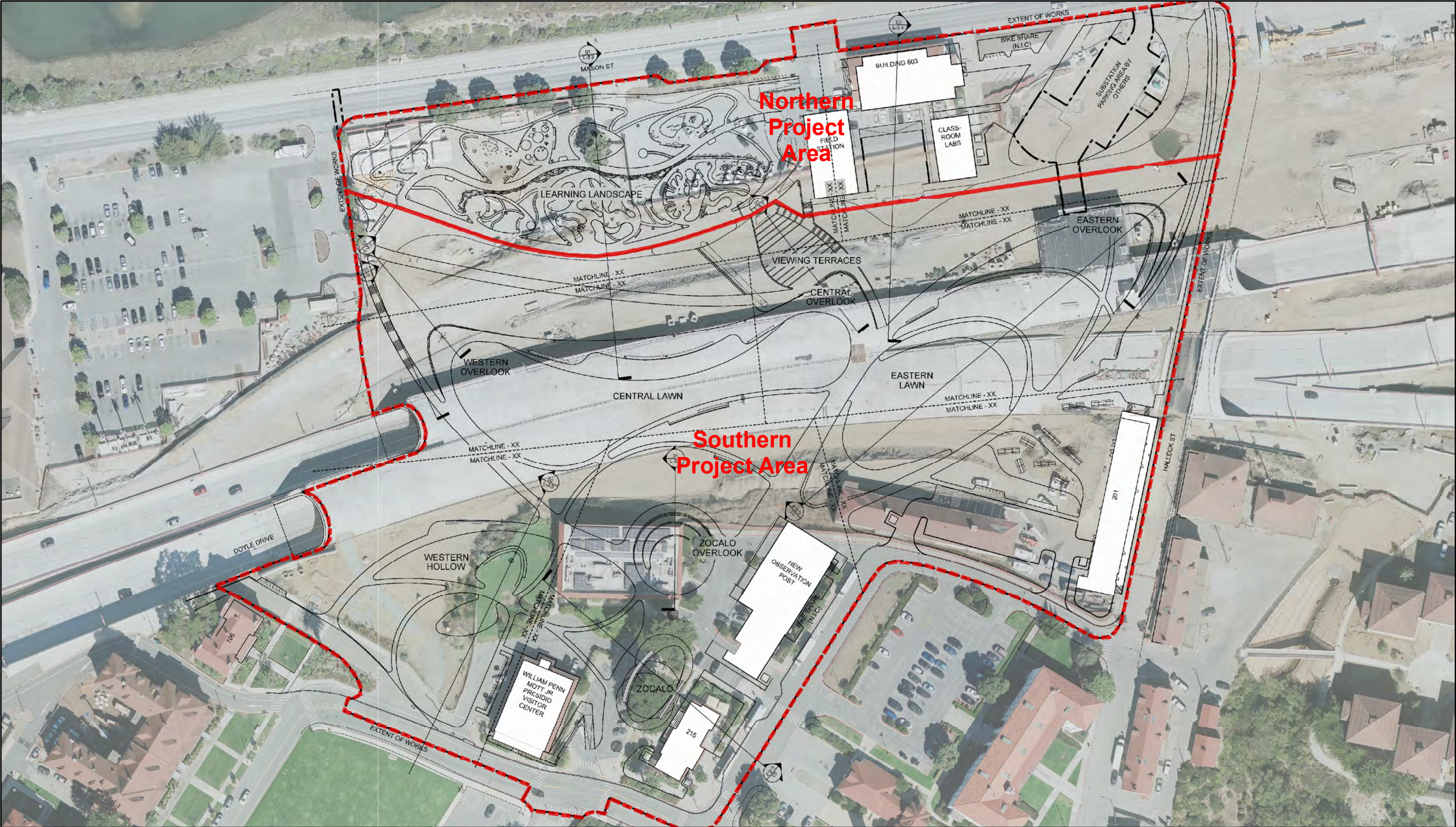
Kaijankoski, Phillip

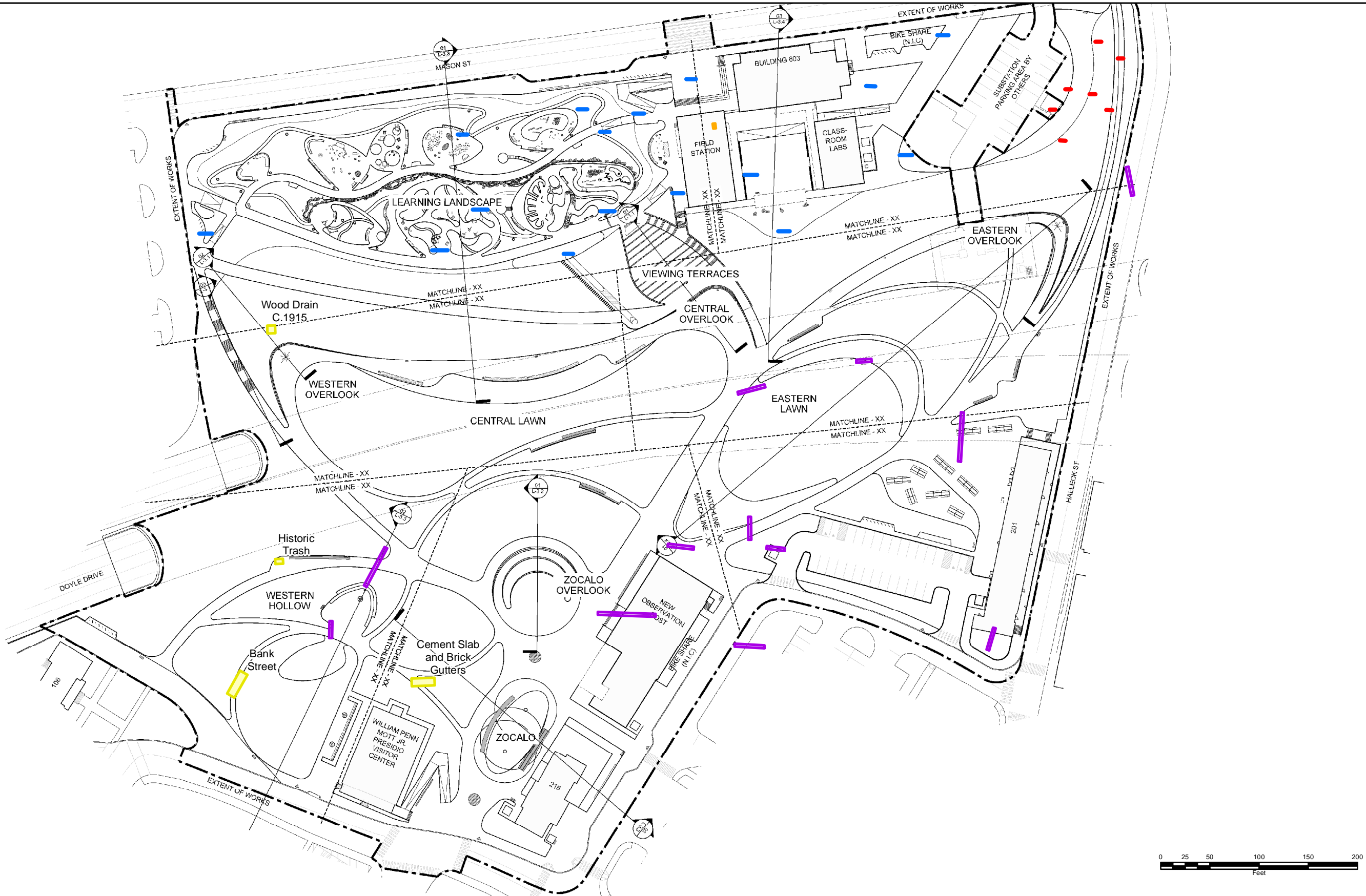
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DRAFT





**Figure 2: Previous Archaeological Identification
New Presidio Parklands**



**Presidio
Trust**



The Presidio of San Francisco

By:
Hans Barnaal

Scale:

1 inch = 50 feet

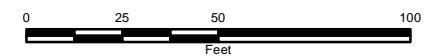
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- Proposed Archaeological Trench Locations
- Quartermaster Buildings (1893)
- - - NHLD Archaeological Areas
- - - New Presidio Parklands Project Boundary



**Figure 3: Proposed Archaeological Trenches
New Presidio Parklands**

**ARCHAEOLOGICAL IDENTIFICATION
TESTING OF THE SOUTHERN AREA OF THE
NEW PRESIDIO PARKLANDS PROJECT,
PRESIDIO OF SAN FRANCISCO,
SAN FRANCISCO, CALIFORNIA**

FINAL

Prepared for:
The Presidio Trust
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San Francisco, CA 94129-0052

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Pacific Legacy, Inc.
900 Modoc Avenue
Berkeley, California 94707

October 2016

PL# 3190-01

EXECUTIVE SUMMARY

The Presidio Trust proposes New Presidio Parklands Project (Project) to construct new parkland connecting the Main Post to Crissy Field. The Presidio Trust contracted with Pacific Legacy to complete archaeological identification in the Southern Project area as defined in the Archaeological Identification Plan under Presidio Trust Contract Number PT-2016-060. The Project Area intersects three Predicted Historic Archaeological Features (PHAFs). Two of the PHAFs are present within the Southern Project Area: the Stream Ravine Dump (PHAF #17) and the Quartermaster Complex (PHAF #18). Pacific Legacy completed mechanical excavation within the Southern Area to determine the presence or absence of archaeological deposits associated with the two PHAFs prior to Project implementation to ensure that adverse effects to contributing elements of the Presidio National Historic Landmark District (NHL) are avoided.

Pacific Legacy conducted archaeological identification testing in the Southern Project Area between August 22 and 25, 2016. The archaeological testing consisted of controlled excavation of nine mechanical trenches, eight within the boundary of the Quartermaster Complex and one within the boundary of the Stream Ravine Dump. Throughout the excavations Pacific Legacy consulted with Trust Archaeologists, Kari Jones and Edward DeHaro, on trench placement and treatment of newly identified features.

Excavation identified two structural features, a refuse deposit associated with Stream Ravine Dump and a widespread, sparse scatter of mid to late nineteenth century refuse within the boundaries of the Quartermaster Complex. Excavation in Trenches 1, 2, 2A, and 8 identified two structural features and a refuse scatter associated with the Stream Ravine Dump. Feature 1 the twentieth century slab foundation is associated with the early twentieth century Guardhouse building and post-dates the period of significance for the NHL (1776 to 1890), therefore does not contribute to the NHL. Feature 2 is a brick pier likely from Cavalry Stable (Building [Bldg.] 46), which is part of the Quartermaster Complex PHAF and therefore a contributor to the NHL. Finally, a low density refuse deposit associated with the Stream Ravine Dump PHAF was identified. This deposit was located between 5 and 6 feet on top of the original Stream Ravine ground surface. While it was not a dense deposit it is evidence that the Stream Ravine Dump is present in this part of the NHL. The deposit was small in number but it contained a functionally diverse array of artifacts and included some items definitively associated with the Quartermaster Complex. Finally, a widespread, sparse scatter of cultural materials was found within the boundaries of the Quartermaster Complex throughout the Southern Project Area below the layers of modern fill. These materials included fragmentary transportation, domestic, personal, structural, and indefinite items. The few temporally diagnostic materials present in these trenches were consistent with the mid to late nineteenth century occupation of the Quartermaster Complex. No dense refuse features were encountered.

Each of these features and deposits was in a location predicted by the models derived from historic period maps. It is likely that other archaeological features and deposits associated with the Quartermaster Complex in particular Cavalry Stable (Bldg. 46) and Archaeological Identification Testing, New Presidio Parklands Project, Southern Area Presidio of San Francisco, San Francisco, California
October 2016



Stream Ravine Dump exist throughout the Southern Project Area as well. The stratigraphic observations in Trench 8 indicate a historic surface is present and provided a depth for the historic deposits associated with the historic surface consistent with the predictions of the Presidio Elevation Change Model (PECM) (Barnaal 2007, 2008).

Based on findings from trench excavation, ground disturbing activities have the potential to affect contributing elements of the NHLD within the Southern Project Area. We recommend avoiding adverse effects to contributing resources through Project design. Per the Archaeological Management Assessment (Jones 2015), an archaeological monitoring plan should also be developed to ensure avoidance during construction.

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1.0 INTRODUCTION

This report presents the results of archaeological identification testing conducted by *Pacific Legacy, Inc.* within the New Presidio Parklands Project (Project) Southern Project Area in the Presidio of San Francisco, San Francisco, California (*see* Figure 1). The Presidio Trust proposes to construct new parkland connecting the Main Post to Crissy Field. The Archaeological Identification Plan (AIP) divides the Project into Northern and Southern Project Areas, though the current report addresses only work conducted within the Southern Project Area. In accordance with recommendations made by the Archaeological Management Assessment (AMA) and the AIP prepared by Presidio Trust Archaeologist, Kari Jones (2015, 2016), the Presidio Trust contracted with Pacific Legacy to identify archaeological deposits in the Southern Project Area. The work was conducted under Presidio Trust Contract Number PT-2016-060. Pacific Legacy completed mechanical excavation within the Southern Project Area to determine the presence or absence of archaeological deposits prior to Project implementation to ensure that adverse effects to contributing elements of the Presidio National Historic Landmark District (NHLHD) are avoided.

1.1 PROJECT DESCRIPTION

The Project Area is in the Presidio of San Francisco, San Francisco, California (*see* Figure 1). The project location is depicted on the San Francisco North (1995) 7.5' USGS topographic quadrangle map. Within the Presidio of San Francisco, the Project Area is bounded to the south by Lincoln Boulevard, to the east by Halleck Street, and to the west by the western edge of the Main Post Tunnels and the Building 610 parking area. The AIP divides the Project into the Northern Project Area and the Southern Project Area, only the Southern Project Area is discussed here. The current archaeological investigation was conducted in the Southern Project Area. The Southern Project Area is bounded to the south and west by Lincoln Boulevard, to the east by Halleck Street, and to the north by Doyle Drive (U.S. Route 101) (*see* Figure 2).

Within the Southern Area, the Project proposes to:

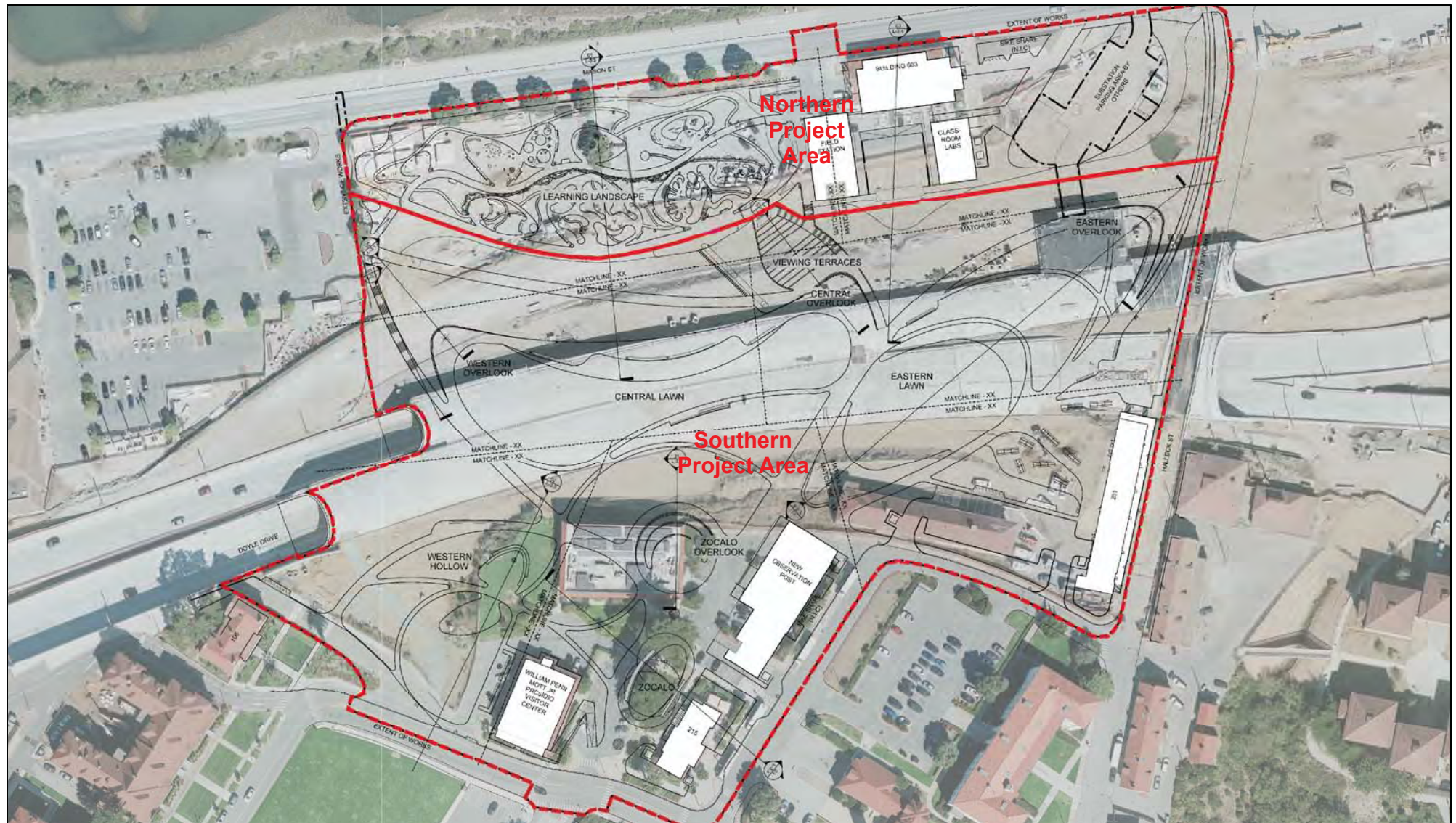
- create a new gathering space (Zocalo) around the future Visitor Center (Building 210) and Transit Center (Building 215);
- demolish the existing Observation Post (Building 211);
- construct a new Observation Post building north of the Transit Center (Building 215)
- create a landscaped area over the Main Post Tunnels and a sloping embankment along the side of the tunnels with a terrace amphitheater;
- create landscaped areas including a Western Hollow and an Eastern and Central Lawn, and a series of overlooks (Zocalo, Western, Eastern, and Central).

Several components of the planned work may require ground-disturbing activities in or adjacent to predicted archaeological areas of the presidio NHLHD Quartermaster Complex and Stream Ravine Dump in the Southern Area. Therefore, all work was carried out in accordance with the Presidio Trust's Archaeological Management Assessment (AMA) for the New Presidio Parklands Project (Jones 2015) and the AIP (Jones 2016) to ensure that any significant archaeological deposits are identified during the Project design effort and prior to Project implementation. A map of the Project components is included as Figure 2.



Figure 1. New Presidio Parklands Project Area Location Map.

Archaeological Identification Testing, New Presidio Parklands Project, Southern Area
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 October 2016



The Presidio of San Francisco

By:
Hans Barnard

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1 inch = 100 feet Absolute Scale: 1:1,200

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Date:
05/27/2016

NP3 Project Area



Figure 2: Project Site New Presidio Parklands

Source: Archaeological Identification Plan, New Presidio Parklands (Jones 2016)

1.2 PERSONNEL

The following Pacific Legacy personnel contributed to this report and archaeological fieldwork:

- John Holson, M.A., Project Manager;
- Hannah Ballard, M.A., Principal Investigator ;
- Christopher Peske, B.A., Field Supervisor;
- Elena Reese, M.A., Senior Historical Archaeologist and Historian;
- Samantha Schell, B.A., Faunal Analyst; and
- Ryan Terry, B.A., Archaeological Technician

The following Presidio Trust personnel provided assistance during archaeological testing:

- Kari Jones, M.A., Trust Archaeologist
- Edward De Haro, B.A., Trust Archaeologist

2.0 HISTORICAL AND ARCHAEOLOGICAL BACKGROUND

2.1 HISTORICAL BACKGROUND

In 1776, Juan Bautista de Anza set aside 3000 *varas* of land on the south side of the entry to San Francisco Bay for a defensive military post, El Presidio de San Francisco. El Presidio de San Francisco (El Presidio) formed northernmost edge of Spain's North American colonies and played a significant role in establishing Spanish settlement in Northern California. When Mexico gained its independence in 1821, El Presidio continued its role as the northernmost frontier garrison as the Mexican Republic established control of its territories (Alley et al. 1994).

In 1846, leading up to the end of the Mexican-American War in 1848, the United States took over the remains of El Presidio to establish a strategic location for the coastal defense of its new territory. From this vantage point, the Presidio of San Francisco could defend the Bay, a major west coast port, and protect the growing town of San Francisco as it became increasingly important during the Gold Rush and Civil War eras (Alley et al. 1994:8-23). The headquarters of this new military post incorporated existing Mexican era adobe buildings and expanded to the current boundaries of the Main Post District.

To support the U.S. Army, the Quartermaster Department established itself early in the American Period. This department was part of the earliest American contingent to occupy the Presidio in 1847 and was charged with the completion and renovation of buildings (Jones 2015). In addition to building projects, the Quartermaster was in charge of animal husbandry and forage, sanitation and waste disposal, gardening, forestry, and providing general supplies, transportation, food, and uniforms, all critical to basic military life (Jones 2015). In the 1840s, the Quartermaster Department developed a complex of buildings and services at the northern end of Main Post. By the 1870s, the Quartermaster Complex totaled 21 buildings and structures including barns, sheds, stables, a weight scale, pig sties, corrals, and a cottage. At the turn of the century, however, the complex was being used for other purposes and most of the buildings were removed prior to 1915 (Jones 2016).

2.2 ARCHAEOLOGICAL BACKGROUND

The Presidio of San Francisco is a NHL, listed on the National Register of Historic Places (NRHP). The Presidio NHL includes Spanish Colonial, Mexican-era, and later U.S. Army-occupation period archaeological resources that are contributing elements to the District. The period of significance for the historic archaeological resources within the Presidio NHL is primarily 1776 to 1890, with the potential to extend the period to 1917 under certain circumstances. Among the archaeological resources that contribute to the NHL are predicted archaeological features that have been identified based on archival research. Many of these features have yet to be identified archaeologically.

The New Presidio Parklands Project includes portions of three Predicted Historical Archaeological Features (PHAFs) that have been determined to contribute to the NHL (Jones 2015). The Southern Project Area intersects with portions of Quartermaster Complex (PHAF #18) and the Stream Ravine Dump (PHAF #17) (Barnaal 2008; Jones 2015). The Quartermaster Dump

(PHAF #19) is predicted to be within the Northern Project Area and is not discussed further in this report. The archaeological testing was conducted within the predicted area of the Quartermaster Complex and the predicted edge of the Stream Ravine Dump. The following information on the PHAFs is taken from the AIP and AMA (Jones 2015, 2016).

2.2.1 QUARTERMASTER COMPLEX 1870S-1910S (PHAF #18)

The Southern Project Area encompasses the entire predicted Quartermaster Complex archaeological area. The Quartermaster Complex was a series of buildings and structures including stables, a bakery, blacksmiths, shops, and storehouses located at the north end of the Main Post. The location is predicted based on historic period maps and documentary evidence. The 1870 Presidio Map (Wheeler 1870) shows the complex located at the northwestern end of the old parade ground. By 1880, the complex expanded to the north end of the Main Post (Jones 2015; Jones 1880). In total, 21 buildings and structures were part of the complex. Figure 3 is an 1893 map of the Presidio depicting the extent of the buildings in late nineteenth century.

By 1915, most of the Quartermaster Complex buildings had been removed, although a few remained and were used through World War I (Jones 2015). Today, the footprint of the Quartermaster Complex lies under paved parking lots and twentieth century buildings including the former guardhouse (Bldg. 210), fire station (Bldg. 218), former bakers' and cooks' school and barracks (Bldg. 220), cafeteria (Bldg. 211), and bus shelter (Bldg. 215).

Based on the amount of twentieth century construction in the area, physical integrity of the Quartermaster Complex is expected to be low to moderate. Two previous projects conducted archaeological investigations within the Southern Project area. In 1997, Holman and Associates completed archaeological monitoring of the Bank Street Project. While monitoring efforts were targeted to identify refuse deposits associated with the Quartermaster Complex, the result was the identification of refuse other areas of the Presidio (Ambro 1997). These deposits were subsequently interpreted to be associated with the Stream Ravine Dump Archaeological Area (PHAF #17) (Jones 2015). Ambro did identify a concrete floor and associated brick gutter that he posited might be the remnants of the Quartermaster Complex stables or a twentieth century building. Archaeological testing by Jones & Stokes in 2002 revealed a series of complex fill episodes across the area and recovered a series of non-diagnostic materials but no intact structural remains (Jones and Stokes 2002).

2.2.2 STREAM RAVINE DUMP 1776-1893 (PHAF #17)

A portion of the Stream Ravine Dump archaeological area is predicted in the Southern Project Area based on the presence of a stream ravine that historically bisected the Main Parade Ground. The location of the Stream Ravine Dump area is predicted from historic maps that depict the course of the stream ravine before it was filled by the Army in 1893 (Barnaal 2007, 2008). The stream channel originated south of the Project Area and extended north across Sheridan St., continuing northward to the end of the Project Area, where it emptied into the San Francisco Bay

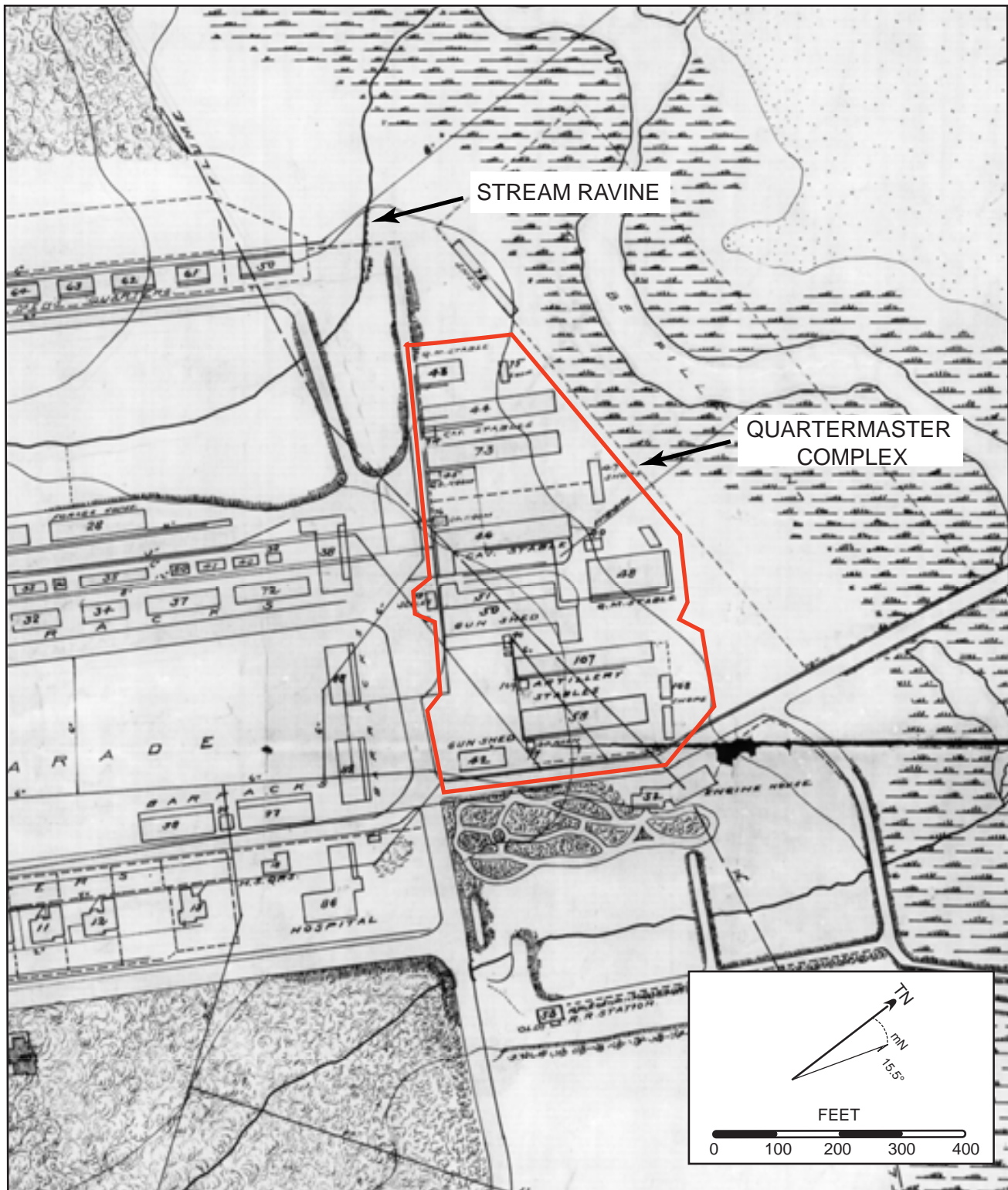


Figure 3. 1893 Map of the Presidio of San Francisco, showing Quartermaster Complex and Stream Ravine (Hardesty 1893).

at Crissy Field. The banks of the stream were steeply sloped, and it is estimated that the ravine was as much as 20 to 30 feet (ft.) deep. The ravine provided space for military and domestic work during the Spanish and Mexican Colonial Periods until it was filled in the 1880s (Jones 2016).

The Stream Ravine Dump Area was substantially filled to create a level surface in 1893 (Hardesty 1893). The 1880 and 1881 maps indicate the first phases of filling the ravine, including the raised dirt fill road across the ravine which and later became Sheridan Avenue (Jones 1880; Humphrey 1881). This capping of the deposit may have preserved the archaeological features, including work spaces and refuse deposits. The Stream Ravine Dump Area is currently capped by the Main Parade Lawn. In the Southern Project area, it is capped by fill and an open area of informal landscaping.

Before the ravine was filled, flowing water would have washed away lighter elements of the refuse while leaving the heavier items. Consequently, the stream bed is expected to be a moderately intact historic trash dump (Jones 2016). Furthermore, because the ravine was filled to level ground, the depth of the cultural deposit is expected to vary. The deposits are likely to be shallow on the edges of the ravine. This is where activities may have taken place and the overlying the fill is thinner. Shallow deposits along the edge of the ravine have greater potential to have been disturbed by more recent historical and modern activities including utilities and other infrastructure. The depth of fill increases to a maximum of 25 ft. toward the middle of the ravine. In this area, archaeological deposits will be deeply buried and are expected to retain a high degree of integrity (Jones 2016).

Several archaeological projects conducted between 1997 and the present have identified deposits associated with the Stream Ravine Dump. A 2008 geoarchaeological investigation was conducted to identify areas around the Stream Ravine Dump that are sensitive for prehistoric and historical archaeological deposits (Kaijankoski 2008). Six soil core samples were analyzed but only one sample taken west of Anza Street and north of Owen Street recovered historic archaeological materials. During a 2010 water line upgrade project, which included Anza Street, a trash deposit was found approximately 40 ft. northwest of Building 34 (Presidio Trust 2010). Additionally, trash recovered at significant depths during the Bank Street Project (Ambro 1997) and the Doyle Drive Replacement Project (reports forthcoming) may be associated with the Stream Ravine Dump.

3.0 METHODS

3.1 FIELDWORK METHODS

Pacific Legacy conducted subsurface archaeological testing within the Southern Project Area between August 22 and 25, 2016. The archaeological testing consisted of controlled excavation of nine mechanical trenches. A total of 1138 cubic ft. of soils were excavated and inspected during archaeological testing.

Archaeological testing was designed to determine the presence or absence of deposits or features associated with the Quartermaster Complex and the Stream Ravine Dump PHAFs in order to avoid adverse effects to the Presidio National Historic Landmark District (NHLD). Within the Project Area, subsurface testing took place in the areas of proposed ground disturbance associated with construction in the Southern Project Area. Using information provided in the Presidio Trust's AMA and AIP (Jones 2015, 2016), eight trench locations were selected for excavation by the Presidio Trust archaeological staff with the option of excavating four additional trenches based on the results of the first eight. Prior to the start of excavation, the first eight trench locations were marked with spray paint or pin flagged in consultation with Kari Jones, Archaeologist, Presidio Trust; Glenn Angel, Construction Manager, Presidio Trust; Hannah Ballard, Principal Investigator, Pacific Legacy; and Matt Kelly, Supervisor, McGuire and Hester. The trenches were excavated by McGuire and Hester personnel with guidance from Pacific Legacy archaeologists and Presidio Trust staff. Trenches were placed to intersect the predicted locations of Quartermaster Complex structures and the Stream Ravine Dump as derived from historic period maps (Jones 2016). A ninth trench was added perpendicular to Trench 2 to further explore a feature identified during initial excavation.

The AIP provided specific guidance on the size and depth of each proposed trench (see Jones 2016). In general, trenches were to be excavated to sterile soil. Based on the predictions of the PECM, Trench 8 was to be excavated to at least 5 ft. bs, and therefore would exceed the depth of safe entry per OSHA regulations. Trenches that exceeded depth of safe entry were observed and documented from the ground surface. Prior to the start of work, a safety meeting was held with crew members, which reviewed Pacific Legacy's Safety Activity Hazard Analysis for the Project. All new personnel to the worksite were given the same safety presentation prior to work.

Trench excavation was conducted with a mechanical excavator using a flat, 2 ft. wide blade. Potential archaeological features were exposed using hand tools. The features were then characterized and recorded, but not excavated so as to minimize disturbance to the feature. All elevations were taken using a total station by the Hans Barnaal, Presidio Trust GIS Specialist.

Documentation included trench forms, feature descriptions, drawing of plan and profile sketches, and photographic documentation. Trench Record forms were prepared for each trench. Soil color (determined using a Munsell soil color chart), artifact counts and types, stratigraphic descriptions, and disturbances were recorded. One side wall from each excavation unit was selected for a detailed profile illustration. Plan maps and profiles were prepared for all features. Digital photographs were of each trench, feature and trench profile and recorded on a Digital Photo Log. After completing profile illustrations and photography, each trench was backfilled

compacted, and re-paved, where appropriate. A Daily Field Record was completed at the conclusion of each work day and these forms include the names of crew members, work area(s), work completed, discoveries, and field observations. Photograph Documentation of the fieldwork is provided in Appendix A.

4.3 COLLECTION AND CURATION

Diagnostic artifacts observed during test trenching were collected, bagged and brought to Pacific Legacy's for analysis and cataloging. Non-diagnostic structural artifacts such as bricks and concrete fragments were noted but not collected. The collection was cataloged as a Microsoft Excel spreadsheet, using a template provided by the Presidio Trust Archaeology Lab (see Appendix B). Upon acceptance of the Final report, Pacific Legacy will prepare the collection and documentation for delivery to the Trust Archaeology Lab. Documentation will include: original field paperwork and drawings, photographs, and report copies in hard copy and digital formats.

4.0 RESULTS

4.1 TEST TRENCHING RESULTS

This section presents the results of archeological identification testing conducted within the Southern Project Area. A total of nine trenches were excavated within the Southern Project Area. All but three were excavated in existing parking lot to the south and east of the Observation Post. The remaining three were in landscaping to the south and west of the Observation Post (see Figure 4). The trench lengths varied due to restrictions posed by adjacent utilities; requirements to protect existing trees and roots; and efforts to reduce impacts Observation Post sidewalks. The trench testing identified historic period archaeological refuse deposits and a structural feature associated with the Quartermaster Complex, the Stream Ravine Dump, and a twentieth century outbuilding. The profile within the Stream Ravine Dump archaeological area supported aspects of the PECM model. Table 1 summarizes the results for each trench.

4.1.1 STRATIGRAPHY

The trenches revealed variable stratigraphy across the Southern Project Area. Table 1 details the stratigraphy of each trench and Figures 5 and 6 illustrate soil profiles of Trenches 2 and 8. Photographs of each trench profile are included in Appendix A. Within the parking lots to the east and south of the Observation Post, Trenches 2-4 showed consistent 11-12 inches (in.) of modern fill associated with the parking lot over a layer of geotextile fabric. Below this fill was between one and two layers of sandy clay containing a low density but widespread deposit of historic period artifacts and structural materials. The integrity of this artifact deposit could not be determined during this investigation. Although the soil color of these layers varied slightly between trenches, they appear to be much the same consistent soil layers in this area. These are likely historic period deposits, possibly fill episodes as evidenced by the fairly abrupt boundaries between the layers. To the south of the Observation Post, Trench 5 lacked the geotextile fabric and had a different base rock under the asphalt, indicating this part of the parking lot was installed at a different time. The underlying soils however were consistent with those observed to the east of the Observation Post.

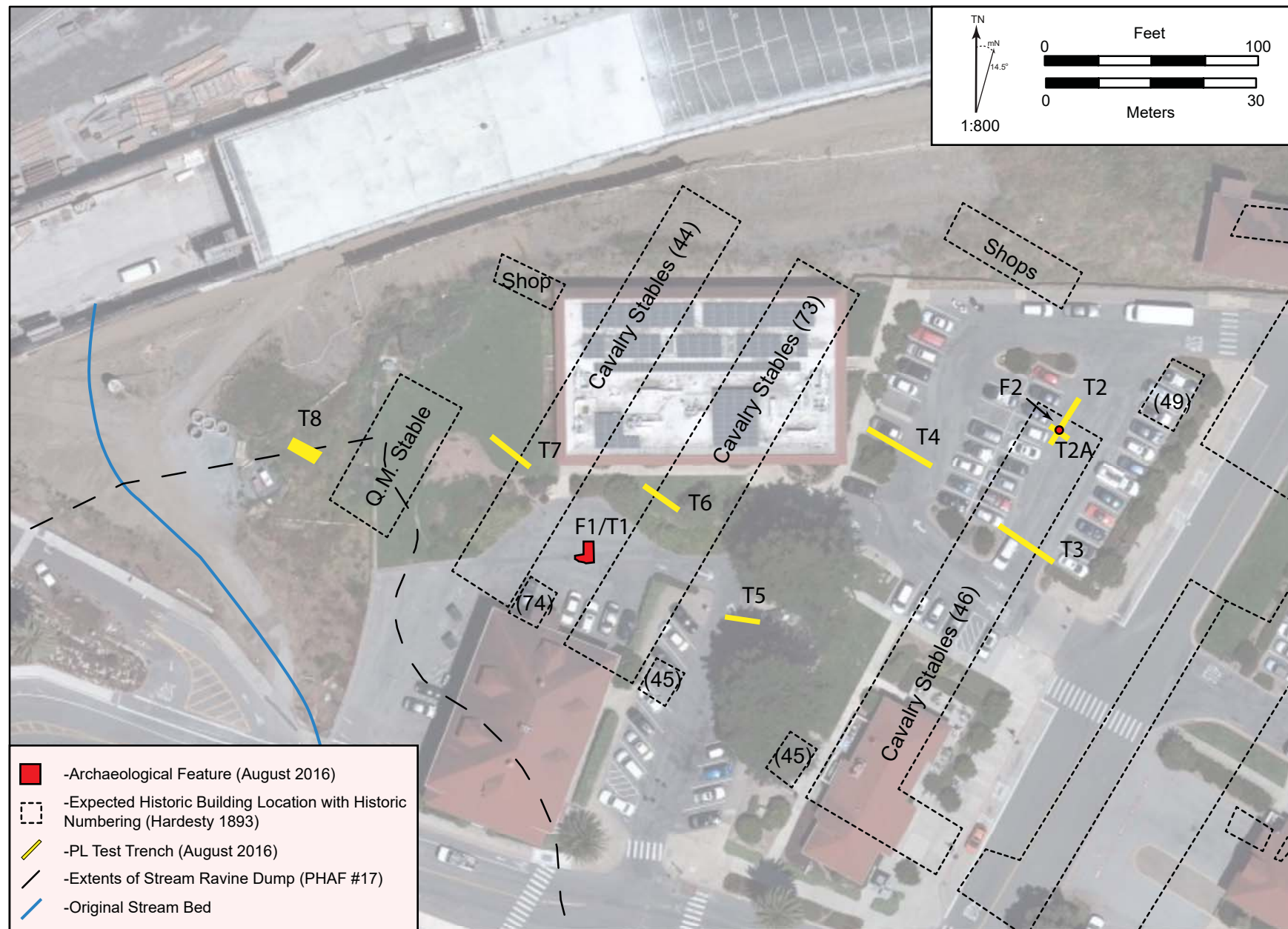
The trenches excavated (Trenches 6 and 7) in the landscaping to the south and lawn to the east of the Observation Post exhibited distinctly different stratigraphic profiles from each other and with parking lot areas. These differences are likely due to the soil requirements for landscaping as well as the episodes that filled Stream Ravine and created the landscaped areas around the Observation Post. The grassy landscaped area immediately south of the Observation Post, in which Trench 6 was excavated, started at higher elevation than the parking lot areas. As this was in a landscaped area, the fill profile differed from the parking lots and extended to 32 in. bs where a 1 in. layer of dense gravel fill was encountered. Below this was a layer of clay that was present to the base of the trench (54 in.). This clay layer was not observed in any other trench area. Trench 7 in the Observation Post lawn had the same fill layers as Trench 6 although the gravel layer was 10 in. thick. Below the gravel in Trench 7 was a series of four roughly 10 in. thick layers of different soils (clay and clay loam). These contained sparse cultural material and are likely more historic period fill layers. Finally, Trench 8 was excavated in the predicted location of the Stream Ravine Dump, within an area currently within a Caltrans temporary

Table 1. Summary of Trench Results

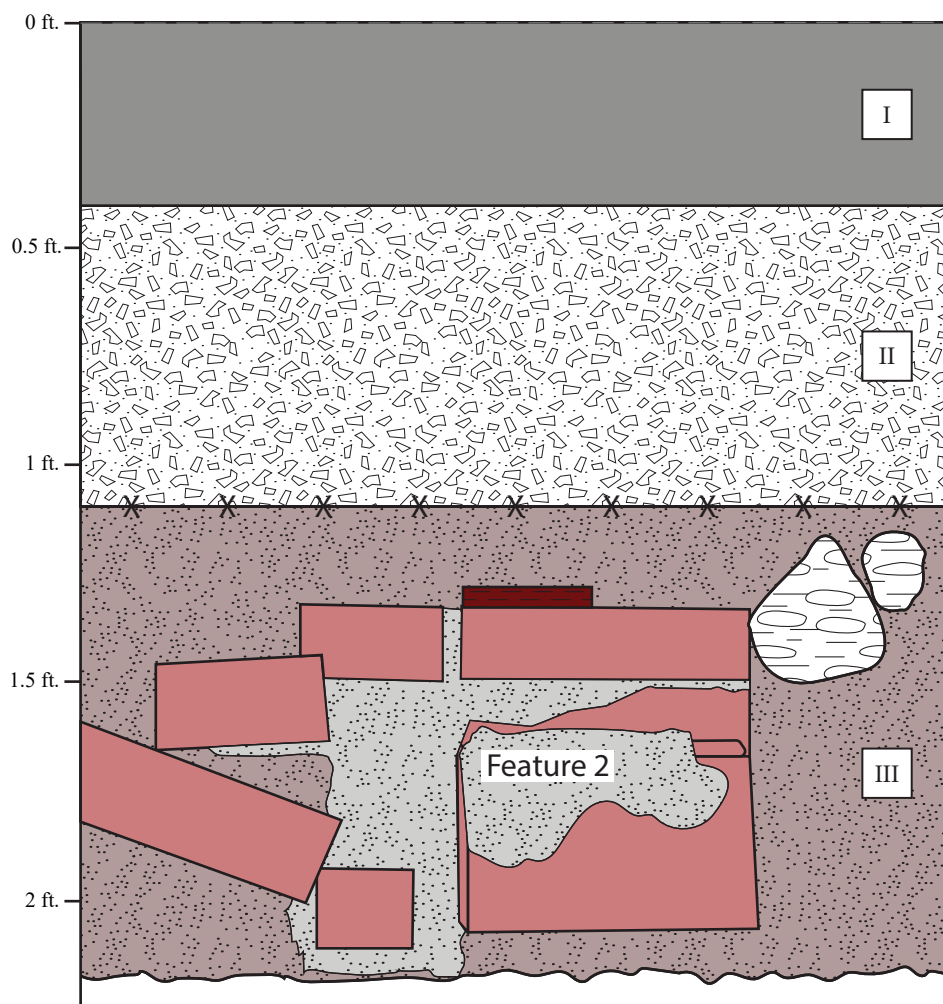
Trench	Location	Dimensions (l x w x d)	Stratigraphy (depths in inches below surface)	Cultural Constituents	Comments
1	Paved turn-around north of Future Visitor Center/former Guardhouse (Bldg. 210)	9 ft. 6 in. x 9 ft. 10 in. x 5.5 in. A 6 ft. x 4 ft. section in the NW corner was not excavated due to previous ground disturbance. 4 ft. x 4 ft. x 1 ft. 4 in. section of modern trench excavated to profile Feature 1 SW corner: excavated to 1 ft. 5 in.	0-5.5 in.: Modern Pavement 5.5-10 in.: Concrete foundation (Feature 1) 10-16 in.: 10 YR 5/4 yellowish brown coarse sand utility trench fill	Feature 1: twentieth-century building foundation found directly beneath modern pavement. The feature covered the entire trench with the exception of the southwest corner and in a 1997 utility trench. Previously recorded during by Ambro (1997). No artifacts observed in trench or in association with the feature.	'L' shaped trench designed to maximize the area of undisturbed excavation, avoiding modern trenches where possible. It was placed in the known location of a foundation feature.
2	Transit Center (Bldg. 215) parking lot	30 ft. x 2 ft. x 4 ft. 6 in.	0-5 in.: Modern Pavement 5-11 in.: Modern mixed gravel fill 11 in.: Geotextile Fabric 11-30 in.: 7.5 YR 3/2 dark brown sandy clay 30-54 in.: 10 YR 6/6 brownish yellow to 10 yr 5/3 brown sandy clay	Feature 2: nineteenth-century brick foundation or pier, with a redwood beam and associated historic-era artifacts from 19 in. bs.	Trench 2 was placed over the expected northeast wall of the Cavalry Stables (Bldg. 46).
2A	Transit Center (Bldg. 215) parking lot	10 ft. x 2 ft. x 2 ft. 2 in.	0-5 in.: Modern Pavement 5-11 in.: Modern gravel fill 11 in.: Geotextile Fabric 11-26 in.: 7.5 YR 3/2 dark brown sandy clay	Feature 2: nineteenth-century brick foundation or pier, with a redwood beam and associated historic-era artifacts.	Trench 2A was excavated perpendicular to Trench 2 to further expose Feature 2
3	Transit Center (Bldg. 215) parking lot	30 ft. x 2 ft. x 4 ft. 6 in.	0-5 in.: Modern Pavement 5-12 in.: Modern gravel fill 12 in.: Geotextile Fabric 12-50 in.: 10 YR 4/6 dark yellowish brown to 10 YR 3/3 dark brown sandy clay with sub-rounded to sub-angular gravels. Contains cultural material. 50-54 in.: 10 YR 2.5/2 very dark brown sandy clay	No features present. 12-50 in.: Metal pipe, non-diagnostic glass, pockets of charcoal and wood fragments. 50-54 in.: clay pipe.	Trench 3 was placed over the expected southeast wall of the Cavalry Stables (Bldg. 46).

Trench	Location	Dimensions (l x w x d)	Stratigraphy (depths in inches below surface)	Cultural Constituents	Comments
4	Transit Center (Bldg. 215) parking lot	30 ft. x 2 ft. x 3 ft. 6 in. (Proposed ground disturbance in this area was 3 ft.)	0-5 in.: Modern Pavement 5-12 in.: Modern gravel fill 12 in.: Geotextile Fabric 12-42 in.: 10 YR 5/4 yellowish brown sandy clay. Cultural materials present.	No features present. 12-42 in.: Fragmentary glass, ceramic, brick, and saw-cut faunal bone.	Trench 4 was located between two historic-era stable buildings to determine the presence or absence of trash deposits or structural features. Excavation stopped at 3.5 ft. bs because that is the depth of the proposed construction excavation.
5	Parking lot between Transit Center (Bldg. 215) and Future Visitor Center/former Guardhouse (Bldg. 210)	15 ft. x 2 ft. x 4 ft. 6 in. (Trench was shortened to avoid utilities and damage to existing tree roots)	0-6 in.: Modern Pavement 6-21 in.: Modern gravel fill 21-30 in.: 7.5 YR 5/6 strong brown sandy clay 30-54 in.: 7.5 YR 5/4 dark brown sandy clay	No features present. 21-30 in.: One brick fragment was identified in the side wall. Small amount of saw cut faunal material observed.	Trench 5 was located between two historic-era stable buildings to determine the presence or absence of trash deposits or structural features.
6	Lawn south of the Observation Post (Bldg. 211)	20 ft. x 2 ft. x 4 ft. 6 in. (Trench length was restricted to stay within the lawn)	0-10 in.: 10 YR 4/4 dark yellowish brown sand fill 10-31 in.: 10 YR 3/3 dark brown sand fill 31-32 in.: GLEY1 6/N gray dense gravel fill 32-54 in.: 7.5 YR 5/6 strong brown clay	No features present. 10-31 in.: Brick fragments and modern trash were mixed in the dark brown sand layer.	Trench 6 was placed over the expected location of the northwest wall of the Cavalry stables (Bldg. 43). Irrigation pipes and a very hard stone layer limited excavation within the trench.
7	Lawn west of the Observation Post (Bldg. 211)	30 ft. x 2 ft. x 4 ft. 6 in.	0-7 in.: 10 YR 3/2 very dark grayish brown sand fill 7-15 in.: 10 YR 4/6 dark yellowish brown sand fill 15-25 in.: GLEY1 6/N gray dense gravel fill 25-35 in.: 10 YR 2.5/1 black clay loam fill 35-42 in.: 10 YR 4/2 brown sandy clay fill 42-47 in.: 10 YR 3/2 very dark grayish brown clay loam fill 47-54 in.: 10 YR 7/4 very pale brown clay loam fill	No features present. 35-42 in.: Sparse amounts of brick fragments, a metal strap, and pieces of white glazed floor tile were scattered in this layer. All artifacts were disturbed, no structural features were present.	Trench 7 was placed over the expected location of the northwest wall of the Cavalry stables (Bldg. 44).

Trench	Location	Dimensions (l x w x d)	Stratigraphy (depths in inches below surface)	Cultural Constituents	Comments
8	In Caltrans TCE, west of the Observation Post (Bldg. 211) lawn. Predicted location of the Stream Ravine Dump PHAF	16 ft. x 8 ft. x 8 ft. 8 in.	<p><i>0-18 in.</i>: 7.5 YR 4/2 brown sand fill</p> <p><i>18-45 in.</i>: 7.5 YR 4/6 strong brown sandy clay</p> <p><i>45-63 in.</i>: 7.5 YR 4/3 dark brown sand (cultural materials at interface with underlying layer)</p> <p><i>63-96 in.</i>: 7.5 YR 2.5/2 very dark brown sandy clay (This layer appears to be the original ravine soil)</p> <p><i>96-100 in.</i>: 10 YR 5/4 yellowish brown clay loam</p>	<p>Stream Ravine Dump PHAF deposit.</p> <p><i>60-72 in.</i>: Sparse layer historic-era material including redwood, brick, glass, ceramics, roof tile, coal, horse shoe, and metal fragments was found atop what is believed to be the original ravine surface.</p>	Trench 8 was located in a historic-era ravine topped with 1890's fill. The trench was designed to find the original surface of the ravine in order to test the predictions of the Presidio Elevation Change Model as well as to test for the presence or absence of remains from the quartermaster's complex.



New Presidio Parklands Feature 2 as seen in Trench 2, East Wall



Soil Descriptions

- | | |
|-----|--|
| I | -Modern Asphalt |
| II | -Mixed Gravel Fill |
| III | -7.5 yr 3/2 Dark Brown Sandy Clay Fill |

Legend

- | | |
|----------------|----------------------|
| [Red Box] | -Brick |
| [Dotted Box] | -Mortar |
| [X] | -Geotextile Fabric |
| [Dark Red Box] | -Redwood Timber |
| [Oval] | -Serpentinite Cobble |

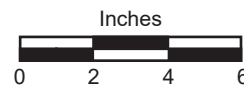


Figure 5. Trench 2, East Wall Profile Showing Feature 2 Cross-section.

New Presidio Parklands Trench 8, North Wall

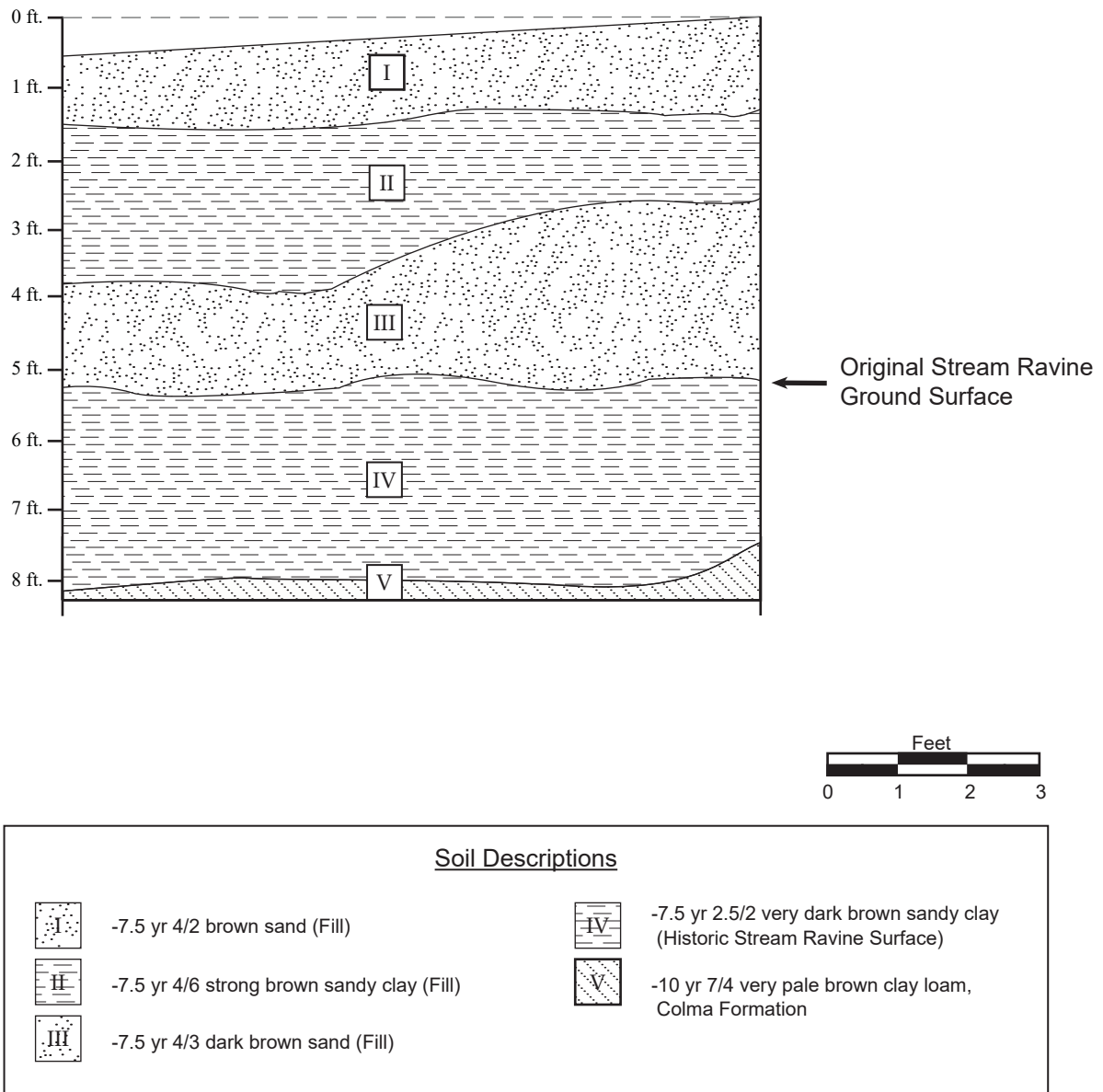


Figure 6. Trench 8, North Wall Profile.

construction easement (TCE). Trench 8 exhibited a unique stratigraphic profile with three layers of fill overlying the original Stream Ravine surface (see Figure 6). The soil that comprised the historic Stream Ravine surface was approximately 3 ft. thick and underlain by Colma formation soil, the sterile subsoil found throughout much of the Presidio. This layer was identified as historic ravine soil that was identified, in part, by the presence of a layer of historic period refuse at the interface between the two soil layers. Trench 8 was excavated to identify the presence or absence of the Stream Ravine Dump PHAF and to test predictions of the PECM. This refuse deposit encountered in Trench 8 between 5 and 6 ft. below the surface is part of the Stream Ravine Dump PHAF. The PECM suggests that the historic period surface on which the Stream Ravine Dump archaeological area was deposited is covered by 5-10 ft. of 1890s fill material. It also suggests that the depth of fill material should increase as the trench proceeds west, towards the center of the ravine. Cultural material associated with the Stream Ravine Dump occurred at the interface between a sand layer and a compact sandy clay layer (Stratum III and IV) (see Figure 6). The top of Stratum IV (sandy clay layer) appears to be the historic ravine surface. Stratum IV was underlain by Colma subsoil. The surface of Stratum IV appeared level and did not slope towards the Ravine center. The level nature of the historic Ravine ground surface likely indicates that this is the upper edge of the ravine, where the slope was gradual.

4.1.2 FEATURES

Two features were identified during trenching in the Southern Project Area. These included a twentieth century concrete slab (Feature 1) and a brick pier fragment (Feature 2) associated with the Quartermaster Complex. Photographs of the features are included in Appendix A.

FEATURE 1

Feature 1 was identified in Trench 1. It is a concrete slab foundation located directly beneath the modern asphalt that nearly spanned the entire trench 1 (see Figure 7). The feature was previously identified in 1997 during archaeological monitoring of excavation of a utility trench. The foundation was sawcut to create the utility trench. Ambro (1997) described the feature as well as a brick gutter located to the west in the trench. Feature 1, as observed during the current archaeological identification testing, is a slab made from concrete mixed with poorly sorted sub-angular to sub-rounded gravels ranging from 0.5 in. to 1 in. in diameter. An edge of the foundation was identified in the southwest corner of Trench 1. The slab edge had a small step, measuring 1 in. high by 6 in. wide, possibly to accommodate a wood sill. The feature on this edge was 1 ft. thick, including the step. The cross-section of the slab was exposed within the utility trench and profiled. Feature 1 is 5 in. thick in this location. No diagnostic artifacts were found in association with the feature. The feature corresponds with an outbuilding behind the Guardhouse pictured on the 1934 and 1943 maps of the Presidio (Map 1934; Jones 1943). Thus this feature postdates the period of significance for the NHL (1776 to 1890).

FEATURE 2

Feature 2 is a brick feature measuring approximately 8.5 ft. long (east/west) by 2.5 ft. long (north/south). It was first identified in Trench 2. As the feature was in poor condition, Trust Archaeologist Kari Jones provided permission to trench through the brick feature in order to

New Presidio Parklands Trench 1, Feature 1 Plan and North Profile

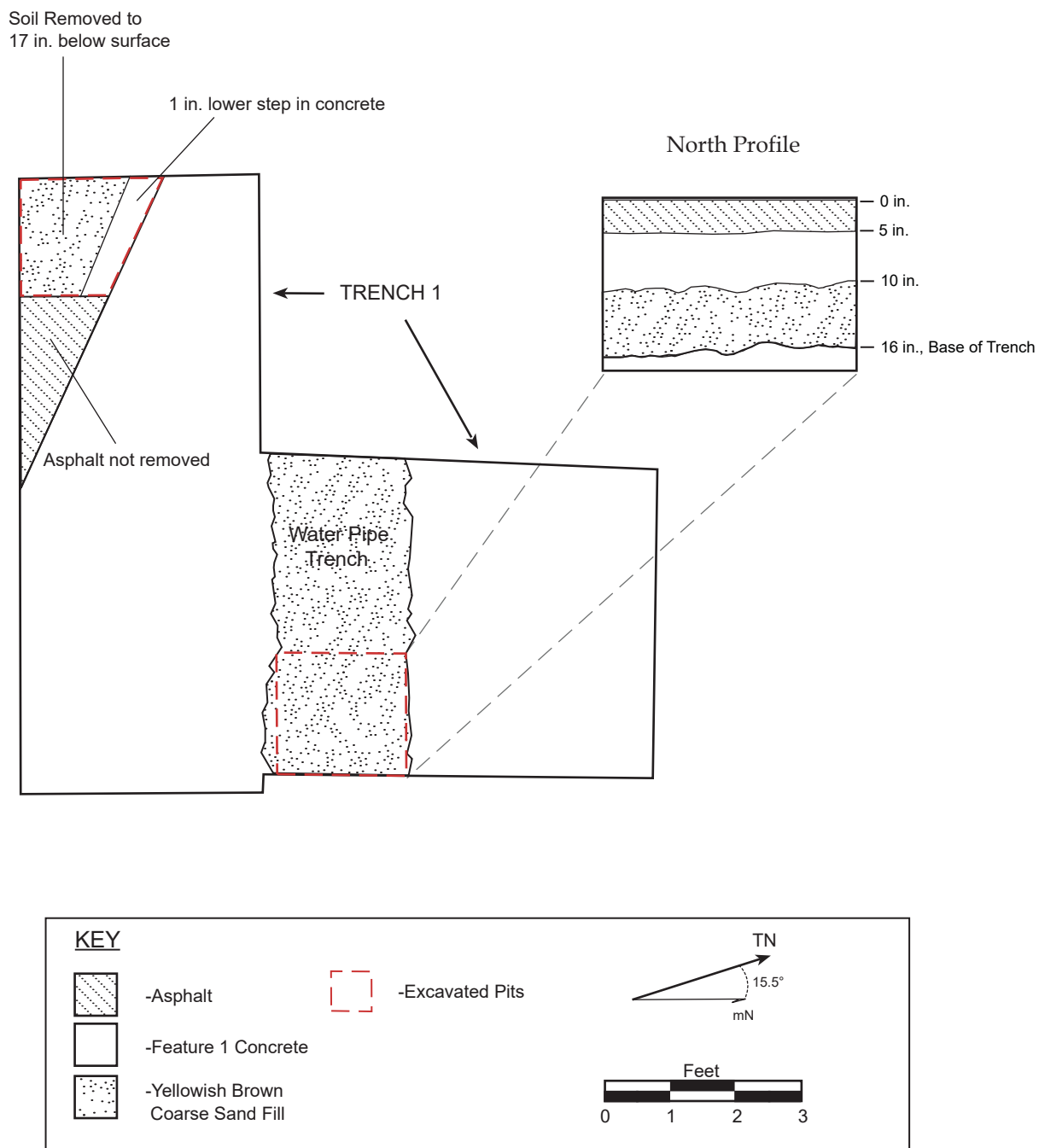


Figure 7. Trench 1, Feature 1 Plan and North Profile

document its cross-section (see Figure 5). Trench 2A was positioned perpendicular to Trench 2 to further expose this Feature 2. On the east side of Trench 2A there appears to be an in situ portion of brickwork that is 1 ft. (east/west) by 1.1 ft. (north/south). Brick rubble extends across Trench 2 into the west side of Trench 2A (Figure 8). The feature sits at 41 ft. above sea level. One historic period glass bottle from the Crystal Soda Water Company (1874-1899) (H.S. Crocker & Co. 1899:2104) and four ceramic sherds were identified in association with the feature and collected. Another piece of ceramic and a glass fragment were found on the outer north edge of the feature and left in situ. The east profile of the east side of the feature shows the intact portion of brick feature was 1 ft. bs. The east end of the east side of the feature, outside of the brick, had a concentration of angular gravels which signals an end of the brick feature. A pothole was placed outside of the angular rock to confirm this. A redwood beam runs down the center of the brick work, oriented east/west. The feature was located directly beneath a geotextile fabric placed during construction of the modern parking lot. It is possible that portions of the feature were graded during parking lot construction. Based on the predicted location of the Cavalry Stables (building [Bldg.] 46) (see Figure 3) and the presence of late nineteenth century soda water bottle, it is likely that this feature is a pier from the Cavalry Stable (Bldg. 46). Thus, Feature 2 is associated with the Quartermaster Complex archaeological area. More detail on the artifacts collected from Feature 2 is provided in Section 4.1.2 below.

4.1.3 CULTURAL MATERIALS

Cultural materials were observed in seven of the nine trenches. With the exception of Trench 8, all of the materials consisted of a sparse but widespread deposit of cultural materials including brick, saw-cut faunal bone, glass and ceramics. No cultural materials were observed in Trenches 1 and 3. Diagnostic materials were recovered from Trenches 2, 2A, 4 and 8, and non-diagnostic materials were recovered from Trenches 5, 6, and 7. The materials recovered from Trench 2/2A were associated with Feature 2 and the Cavalry Stables of the Quartermaster Complex. The materials from Trench 8 are part of the Stream Ravine Dump (PHAF). Materials from Trench 4 are sparse historic period deposit associated with the Quartermaster Complex. The materials from Trenches 2/2A and 4 were found beneath modern fill associated with the parking lot. Table 1 summarizes the artifacts recovered from each trench. The following section is an analysis of collect materials from Trench 2/2A, 4 and 8.

During the test trenching, a total of 88 artifacts were recovered from Trench 2, Feature 2 (n=5), Trench 4 (n=15), and Trench 8 (n=68). These artifacts (excluding three faunal fragments from Trench 4) reflected a total minimum number of items (MNI) of 26 items. Trench 2 had an MNI of 2 objects, Trench 4 had an MNI of 10 objects excluding dietary bone, and Trench 8 had an MNI of 14 objects. The collected artifacts from the three trenches (Trench 2, 4 and 8) represent six functional categories: Structural (n=16, MNI=5); Domestic (n=9, MNI=6); Personal (n=3, MNI=2); Activities (n=1, MNI=1); Faunal/Dietary (n=3, MNI= at least 2); and Indefinite or Multi-functional (n=56, MNI=12). Structural materials included window glass and a roof tile. Domestic materials included tableware vessels, a beverage bottle, a likely shoe polish bottle, and several ceramic vessels that may represent chamber pots or basins. Personal materials included alcohol-related bottles. The activity function of was represented by one horseshoe. The Indefinite materials were primarily bottles of unknown function, one ceramic bowl, and iron objects. These

New Presidio Parklands Trenches 2 and 2A, Feature 2 Plan

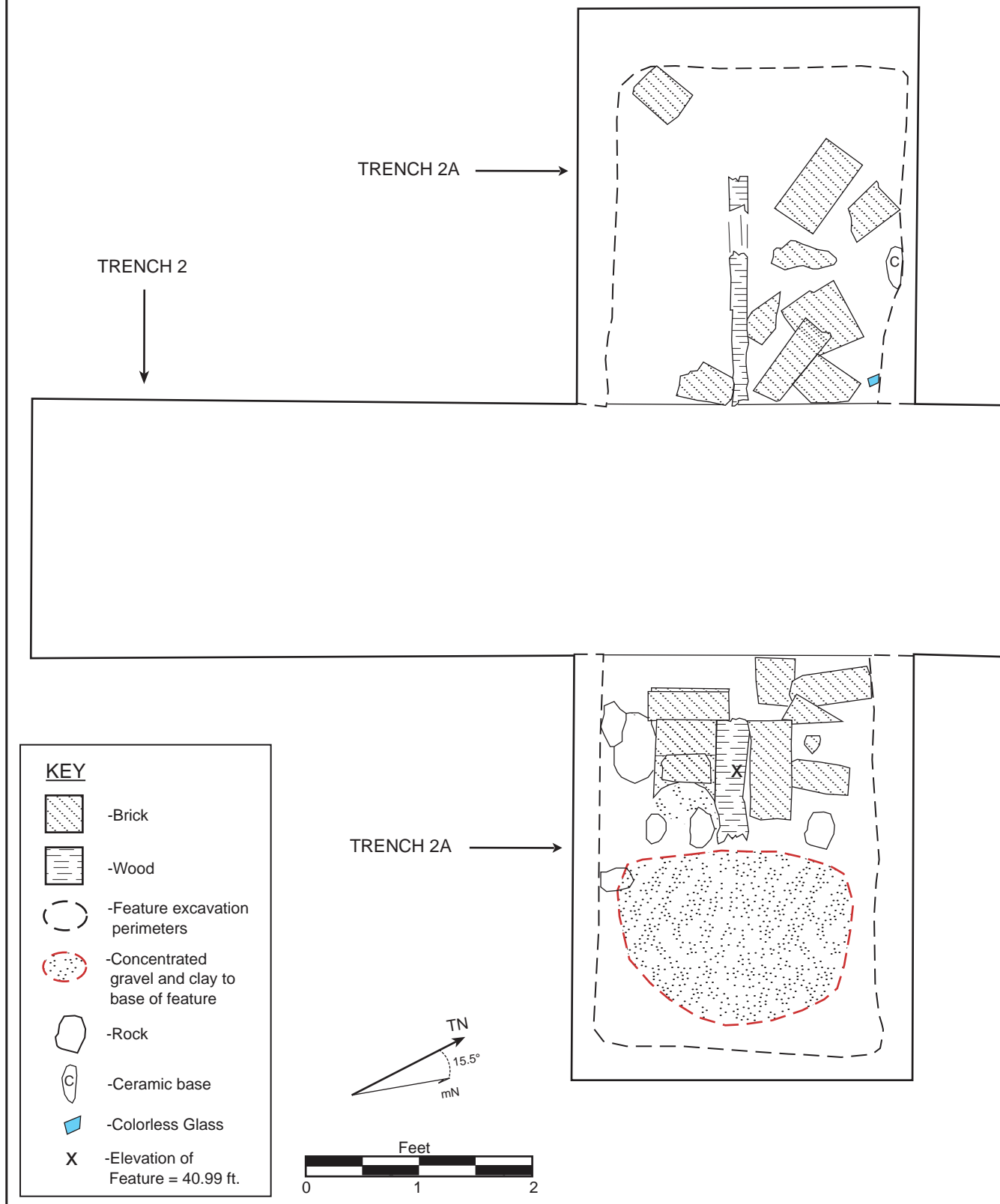


Figure 8. Trenches 2 and 2A, Feature 2 Plan

artifacts are summarized by trench in Table 2, listed in the catalog in Appendix B and discussed in more detail in the following trench discussions.

Table 2. Summary of Monitoring Artifacts by Minimum Number of Items, Function, and Trench

Trench	Activities MNI	Domestic MNI	Faunal/ Dietary MNI	Personal MNI	Structural MNI	Indefinite MNI	Total MNI
2/2A (Feature 2)	-	2	-	-	-	-	2
4	-	3	3	2	1	4	10
8 (Stream Ravine Dump)	1	1	-	-	4	8	14
Total MNI	1	6	3	2	5	12	26

TRENCH 2/2A, FEATURE 2

Trench 2 revealed a brick pier or foundation feature at 12 in. bs (Feature 2) with two associated domestic items: a whole mineral water bottle and rim fragments of an earthenware chamber pot, wash basin, or bidet basin. The basin rim (Catalog [Cat.]. # 118501) was 1 in. wide and perpendicular to the vessel body suggesting it may have fit in a piece of furniture or had a lid. The soda bottle (Cat. # 118500) was embossed “Crystal S [SODA] W [WATER] Co./ S. F.” The Crystal Soda Water Company was established in 1874 at the corner of Stockton and Union Streets in San Francisco (Langley 1874:824). The company continued producing bottled mineral water until 1899 (H. S. Crocker & Co. 1899:2104). This artifact provides a possible use date for Feature 2 of 1874-1899. This date range is consistent with the later period of Quartermaster Complex use. Photographs of these artifacts are included in Appendix A.

TRENCH 4

Trench 4 artifacts were primarily domestic with small numbers of dietary faunal bone, indefinite-function, “personal” alcohol-related bottles, and one piece of window glass. This deposit was encountered between 12-42 in. bs. The domestic artifacts were included a molded paneled vessel foot fragment (Cat. # 118510) and tableware vessels (Cat. # 118508, 118509) (a plate or saucer rim and a cup or mug sherd). Paneled hexagonal and octagonal ceramic vessels were popular during the mid nineteenth century, 1850s to the 1870s, and the Trench 4 example could represent a wide range of vessel types produced in that period (Wetherbee 1996:10). Stylistically, the plate/saucer and cup/mug fragments appear to be from later nineteenth to current tableware vessel shapes. There are three fragments of faunal dietary bone (Cat. # 118511): one artiodactyl (deer or sheep) ulna fragment, a femur (likely pig) and a saw-cut long bone from a large mammal (likely cow) (see photograph in Appendix A). The alcohol-related bottles (Cat. # 118504) consisted of fragments of two olive bottles, likely wine or champagne bottles. The indefinite function category included four bottles (Cat. #118502, 118505, 118506, and 118507): one colorless patent type bottle finish, one aqua hand-applied bottle finish, one amber bottle, and a rectangular olive bottle panel embossed “...N.../...OT...”. The colorless patent finish and olive paneled bottle may be a bitters or other patent medicine bottle, however they were too fragmentary to be certain. Based on the presence of a paneled vessel, later tableware styles, and a possible patent medicine bottle, the trench data suggests a mid to late nineteenth century date, which is consistent with the occupation of the Quartermaster Complex.

TRENCH 8, STREAM RAVINE DUMP

The Trench 8 collection was recovered from 5-6 ft. bs and is associated with the Stream Ravine Dump. This assemblage is comprised of mostly bottles and metal objects including activity/ transportation, structural, domestic, and indefinite-function artifacts. The activity artifact (Cat. # 118518) was a twisted horse shoe with a toe clip, measuring 5.5 in. long x 5.0 in. wide. It is likely associated with the cavalry or quartermaster stables. The structural materials (Cat. # 118517, 118521) included 14 fragments from three windows, based on three different thicknesses represented (1.5 mm, 2mm, and 3mm), and an earthenware roof tile. The unglazed roof tile fragment was comprised of an evenly-fired orange paste, was molded with a standardized mold, and measured an average on 5/8 in. thick. This tile may date to the Spanish or Mexican colonial period and given the ubiquity of roof tile throughout the Presidio and the hiatus of roof tile production and use from 1847-1930s, it is likely part of generalized background Stream Ravine deposit and not associated with the Quartermaster Complex refuse (Jones, personal communication 2016).

The lone domestic artifact (Cat. # 118513) was a whole, aqua, 3-part molded bottle with a cork finish embossed "Whittemore/Boston." Whittemore Brothers Company was established in 1852 and continued to manufacture shoe polish and related products until the 1930s (Whitten 2016). Whitten (2016) noted that the majority of the Whittemore shoe polish bottles date between the 1870s and ca. 1930.

The indefinite-function items included one ceramic bowl, five bottles, a metal handle, and an unidentified metal object. The ceramic bowl (Cat. # 118512) was comprised of ten mending fragments from a colorless-glazed, thick, footed, earthenware vessel. The base was marked "Q. M. D." and "K. T. & K./ CHINA," which indicates it was made by Knowles, Taylor & Knowles of Ohio between 1854 and 1931 (Lehner 1988:238). Lehner reported that the K. T. & K. mark was one included in Barber's (1904:108-109) book on ceramic marks that noted they were used after 1872 (1988:238). The "Q.M.D." indicated it was made for the U. S. Army Quartermaster Department. The Quartermaster Department existed between 1775 and 1912, when it was reorganized as the Quartermaster Corps (Hirrel and Anders 2012). Thus, bowl was likely manufactured between ca. 1872 and 1912.

The indefinite function corked-finish bottles (Cat. # 118514, 118515, 118516, and 118522) include 39 fragments from five different unmarked bottles. These include two different colorless cylindrical bottles (n=9, MNI= 2), one colorless rectangular cork-finish bottle with pink granular contents (n=15, MNI=1), one aqua cylindrical cork-finish bottle (n=11, MNI=1), and one amber cylindrical bottle (n=4, MNI=1). These five different bottles could represent medical, domestic beverage or household products, grooming products, or other functional containers.

The iron handle (Cat. # 118519) was formed from a 0.5 in. diameter rod shaped at right-angles to form a 5-in. wide handle with flattened attachment ends. These flattened ends were highly corroded so the form of attachment (welded vs. riveted) was not determined.

The unidentified iron object (Cat. # 118520) was U-shaped iron strapping with two parallel iron straps across the ends of the "U" approximately 4-5 in. apart. The object was riveted at the junctions and there are at least three other possible rivet holes across the top of the "U,"

suggesting missing parts. The strapping is 3/16 in. thick and the object overall measures approximately 14 in. long x 14 in. wide.

The Quartermaster Department bowl, the Whittemore bottle, and other cork-finish bottles indicate a date range of ca. 1870s to ca. 1912. This is consistent with the later period of the Quartermaster Complex operation.

4.1.4 DISCUSSION

QUARTERMASTER COMPLEX

Of the seven trenches excavated within boundaries of the Quartermaster Complex PHAF, only two (Trenches 2 and 4) provide evidence of the presence of archaeological deposits and features associated with the Quartermaster Complex PHAF. Four trenches were placed to test for the presence of structural features, of these only Trench 2 found a structural feature associated with the Quartermaster Complex. Feature 2, in Trench 2, is a tumbled brick pier situated within the footprint of the Cavalry Stable (Bldg. 46) (see Figure 4). Archaeological and documentary evidence suggest that this feature is pier from the Cavalry Stable (Bldg. 46). The single temporally diagnostic artifact, the Crystal Soda Water Company soda bottle (ca. 1874-1899), found in association with the pier is consistent with the later period of Quartermaster occupation of the area. The feature is similar to brick piers that have been identified archaeologically elsewhere in the Presidio (Kari Jones personal communication, 2016). Furthermore, historic period photographs of the northern end of the Quartermaster Complex show that at least portions of the Quartermaster Complex buildings, including stables, were built on piers to address the uneven ground in the area (see Figures 9 and 10). Though only one pier was found, it is clear that the buildings were built on post and pier supports, therefore it is likely that others are present. The nature of piers is that they are widely distributed beneath the building they support, thus they would be easy to miss with widely spaced trenches.

Trench 4 was placed between predicted building locations to test for the presence of refuse deposits between buildings. This trench encountered the most diverse array of cultural materials of any of the trenches within the Quartermaster Complex. While the materials found in Trench 4 were few in number (n=15, MNI=10), they included artifacts that were domestic, dietary, personal, structural and indefinite (including four bottles of unknown function) in function. Few temporally diagnostic artifacts were found; however the tableware vessels styles are typical of mid and late nineteenth century ceramics. The possible patent medicine and alcohol bottles and faunal bone indicate that eating, drinking, healthcare activities took place within the Quartermaster Complex.

The presence of Feature 2 and the artifact deposit encountered at 12 in. bs in four of the trenches indicate that NHLD contributing archaeological remains are present in the Southern Project Area immediately below the 12 in. of parking lot fill.

STREAM RAVINE DUMP

Trench 8 encountered both the archaeological deposits associated with the Stream Ravine Dump PHAF and the natural Stream Ravine soils. A low density deposit of historic period materials



Figure 9. Quartermaster Complex, Cavalry Stable (Bldg. 44) on left shop on right, view southeast. Note post and pier construction. Photo courtesy of Presidio Trust



Figure 10. Quartermaster Complex, shop in foreground with Cavalry Stables (left Bldg. 46, right Bldg. 73) in rear, view southeast. Note post and pier construction. Photo courtesy of Presidio Trust.

was encountered between 5 ft. and 6 ft. below the surface. Like Trench 4, the collection was small and MNI (n=68/MNI=14) but functionally diverse including transportation, domestic, personal, structural, and indefinite items. The dateable materials were few in number but indicated a use range of 1870s to 1912. Two of the items indicate that the Stream Ravine at this location was used for refuse disposal by the Quartermaster Complex occupants, likely in the late nineteenth century. The presence of a horseshoe is consistent with the operation of the Cavalry Stables to the east of the Ravine. The other piece of evidence is the ceramic bowl base marked "Q.M.D", which stands for U.S. Army Quartermaster Department. The low density of this deposit may indicate that Stream Ravine was not used as a primary dump by the Quartermaster Complex occupant; the dump was cleaned up prior to burial in the 1890s; and/or due to its location on the upper edge of Stream Ravine it the deposit is expected to be thin and more disturbed than deposits deeper in the Ravine. As archaeological excavations in the Quartermaster Dump PHAF, located in the Northern Project Area and the Crissy Field marsh, encountered a very dense archaeological deposit (Massey 2010), it is likely that the Stream Ravine was not the primary location for refuse disposal. The small sample, however, provides insufficient data for a robust comparison of the Stream Ravine Dump and Quartermaster Dump deposits. The presence archaeological deposits associated with the Stream Ravine Dump, a contributing element of the NHL, in Trench 8 indicates that there is a high potential to encounter more deposits that are part of the NHL in Southern Project Area. It also confirms the depths of the historic period fill and location of Stream Ravine Dump deposits as predicted by the PECEM.

FEATURE 1 – TWENTIETH CENTURY BUILDING 208

Map and construction data for Feature 1, indicate that this concrete slab dates to the twentieth century and is associated with the twentieth century Guardhouse and not with the nineteenth century Cavalry Stables that were part of the Quartermaster Complex. Though no associated artifacts were encountered that provide a firm date of the feature, the concrete slab construction and the poorly sorted gravels used to make the concrete are indicative of early to mid-twentieth century date. These results support Ambro's (1997) suggestion that the slab corresponds to a tool shed that was behind the Stockade/Guardhouse depicted on 1921 and 1946 maps (Constructing Quartermaster 1921; Anonymous 1946 cited in Ambro 1997). The Guardhouse but not the outbuilding is shown on the 1919 map but the rear building appears on the 1921 map, indicating that it was constructed between 1919 and 1921. Maps from 1934 (Map 1934) and 1943 (Jones 1943) also depict the guardhouse and a building in the rear numbered 132-A (1934) and 208 (1943). In 1934 the building was rectangular and narrower by 1943 it had expanded to the north. In both maps, as well the maps referenced by Ambro, the building was aligned with the Guardhouse. The southern edge of the Feature 1 slab that was exposed during identification testing roughly aligns with the Guardhouse. Feature 1 dates to the twentieth century, which post-dates the period of significance for the NHL (1776 to 1890); therefore it is not a contributing element to the district.

6.0 SUMMARY AND RECOMENDATIONS

Archaeological identification excavations documented two structural features, a refuse deposit, and a widespread sparse refuse scatter. Of these one feature (Feature 1) is a twentieth century concrete slab that does not contribute to the NHL. The remaining features and deposits are associated with either the Quartermaster Complex PHAF or Stream Ravine Dump PHAF and contribute to the NHL. Only those features and deposits that contribute to the NHL require further management.

Feature 2, a brick pier likely from Cavalry Stable (Bldg. 46), is associated with the Quartermaster Complex PHAF and a contributor to the NHL. Within Trench 8, located in the Caltrans TCE, a refuse deposit associated with the Stream Ravine Dump PHAF was present between 5 and 6 ft. bs. In addition to the NHL contributing feature and deposit, there is a widespread low density artifact deposit that was identified in historic period strata in all of the trenches but Trench 1. The integrity of this dispersed refused scatter could not be determined during this investigation. The widespread historic period archaeological scatter and the NHL contributing features and deposit are located immediately below modern fill layers. Although the depth of the fill layer and historic period soil layers varied across the Southern Project Area, there are consistent stratigraphic patterns in different locations. These locations are defined as subareas of the Southern Project Area: Parking Lot 1, Parking Lot 2, Observation Post Landscaping, Observation Post Lawn and Caltrans TCE. Figure 11 depicts the boundaries of the five subareas and Table 3 provides data on the depth of and nature of the modern fill in these subareas.

Table 3. Depth of Modern Fill within Subareas of the Southern Project Area.

Location	Trenches in Subarea	Depth of Modern Fill	Nature of Fill Base Layer overlying historic period archaeological deposits
Parking lot 1	2/2A, 3, 4	0-12 inches	Geotextile fabric
Parking Lot 2	5	0-21 inches	Dense gravel layer
Observation Post Landscaping	6	0-32 inches	Dense gravel layer
Observation Post Lawn	7	0-25 inches	Dense gravel layer
Caltrans TCE	8	0-60 inches (1890s fill, not associated with the Stream Ravine Dump PHAF)	No clear stratigraphic marker, Stream Ravine Dump deposits found between 5-6 ft. bs.

Each of the identified NHL contributing features and deposits were in locations predicted by the PECEM. It is likely that other archaeological features and deposits associated with the Quartermaster Complex and Stream Ravine Dump exist throughout the Southern Project Area below the modern fill layers at depths similar to those encountered during the current investigation (see Table 3). These findings are consistent with the predictions of the PECEM.

Based on findings from trench excavation, ground disturbing activities have the potential to encounter and adversely affect archaeological deposits and features that are contributing elements to the NHL. Thus, we recommend adverse effects to resources contributing to the NHL be avoided through Project design and archaeological monitoring. Per the AMA (Jones 2015), an archaeological monitoring plan should be prepared to guide the construction monitoring efforts.

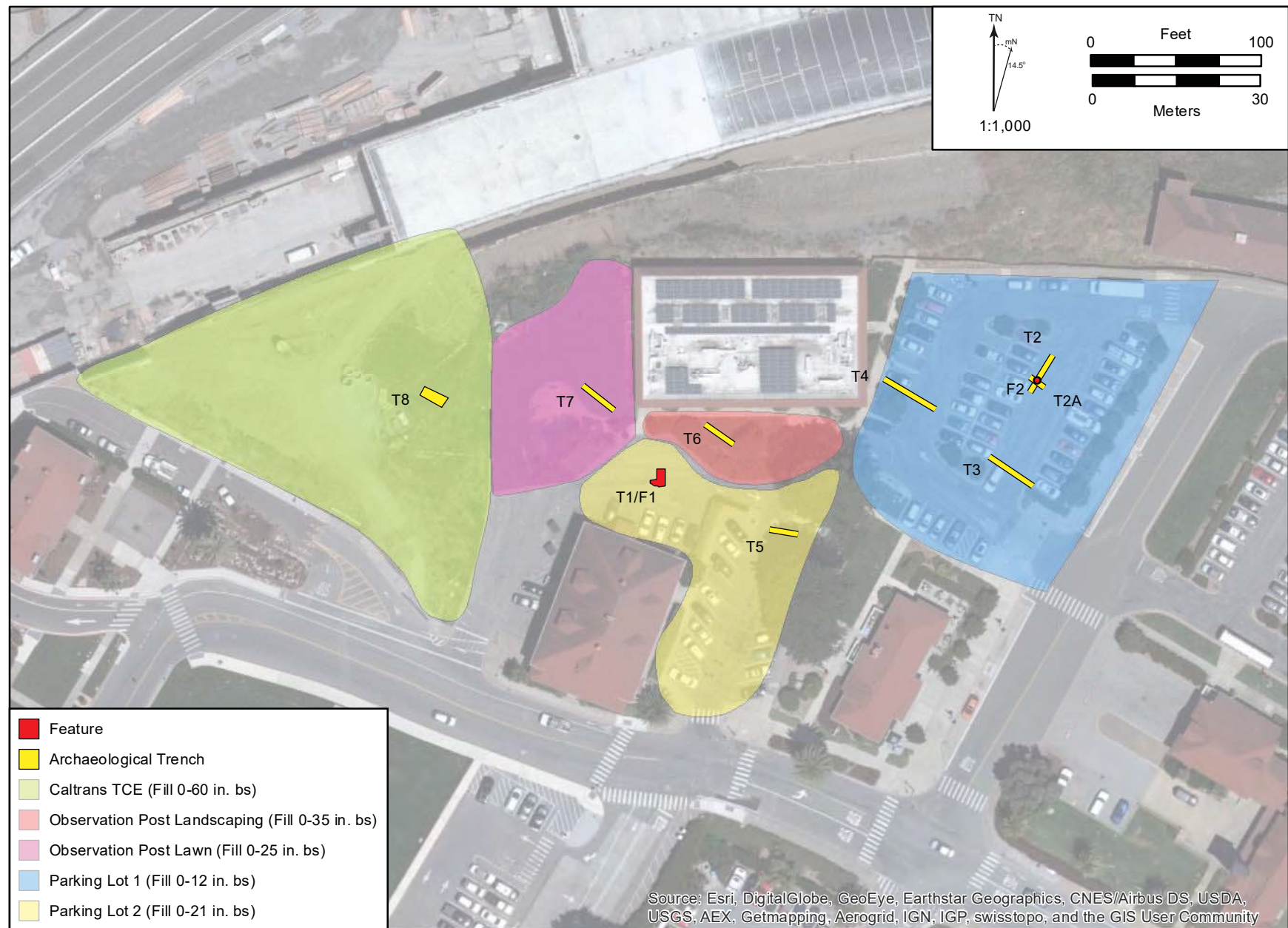


Figure 11. Southern Project Area Subareas

Archaeological Identification Testing, New Presidio Parklands Project, Southern Area
 Presidio of San Francisco, San Francisco, California
 October 2016

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APPENDIX A: PHOTOGRAPHIC DOCUMENTATION

Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5637

Direction: West

Description: Trench 1 and Feature 1 overview, prior to further exposure. Arrow indicates utility trench cut through the feature. Scoring in concrete slab created by saw-cutting.



Photograph No. 5639

Direction: North

Description: Exposed edge of Feature 1 in southeast corner of Trench 1 showing small "step" and profile of concrete slab edge.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5642

Direction: North

Description: Feature 1 profile in the north wall of the previously excavated Trench in Trench 1.



Photograph No. 5651

Direction: Plan

Description: Feature 2 within Trench 2.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5652

Direction: Southwest

Description: Trench 2 overview with Feature 2 intact.



Photograph No. 5682

Direction: Southwest

Description: Trench 2 overview with Feature 2 removed.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5687

Direction: East

Description: Trench 2 east wall profile with Feature 2.



Photograph No. 5691

Direction: East

Description: Trench 2 east wall profile.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5653

Direction: Plan

Description: Ceramic sherds
bidet or chamber pot fragments
from Feature 2 within Trench 2.



Photograph No. 5673

Direction: Plan

Description: Glass bottle from
Feature 2 within Trench 2.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5676

Direction: Plan

Description: Glass bottle maker's mark from Feature 2 within Trench 2.



Photograph No. 5678

Direction: Plan

Description: Glass bottle from Feature 2 within Trench 2. Embossed label: "Crystal S [SODA] W [WATER] Co./ S. F.". The Crystal Soda Water Company was established in 1874.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 673

Direction: East

Description: Trench 2A overview with Feature 2 exposed.



Photograph No. 665

Direction: Plan

Description: Trench 2A, Feature 2, west half, planview.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 663

Direction: Plan

Description: Trench 2A, Feature 2, east half, with burnt clay surface intact.



Photograph No. 6885

Direction: Plan

Description: Trench 2A, Feature 2, with burnt clay surface removed and gravel exposed.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 6890

Direction: East

Description: Feature 2, east half profile.



Photograph No. 6891

Direction: West

Description: Feature 2, west half profile.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 668

Direction: -

Description: Trench 2A profile above Feature 2.



Photograph No. 5647

Direction: Southeast

Description: Trench 3 overview.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5648

Direction: Southeast

Description: Trench 3, southeast wall profile.



Photograph No. 5693

Direction: West

Description: Trench 4 overview.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 5695

Direction: South

Description: Trench 4, south wall profile.



Photograph No. 5698

Direction: Plan

Description: Faunal bone from Trench 4. Left to Right: a femur (likely pig), a saw-cut long bone from a large mammal (likely cow) and an artiodactyl (deer or sheep) ulna fragment.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 3190-01_03

Direction: West

Description: Trench 5 overview.



Photograph No. 3190-01_02

Direction: North

Description: Trench 5, north wall profile.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 3190-01_06

Direction: Northwest

Description: Trench 6 overview.



Photograph No. 3190-01_07

Direction: Northeast

Description: Trench 6, northeast wall profile.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 3190-01_12

Direction: Southeast

Description: Trench 7 overview.



Photograph No. 3190-01_13

Direction: Southwest

Description: Trench 7, southwest wall profile.



Appendix A. Pacific Legacy Photographic Documentation

Project: 3190-01 Tunnel Tops

Prepared by: C. Peske

Location: Observation Post, Presidio of San Francisco

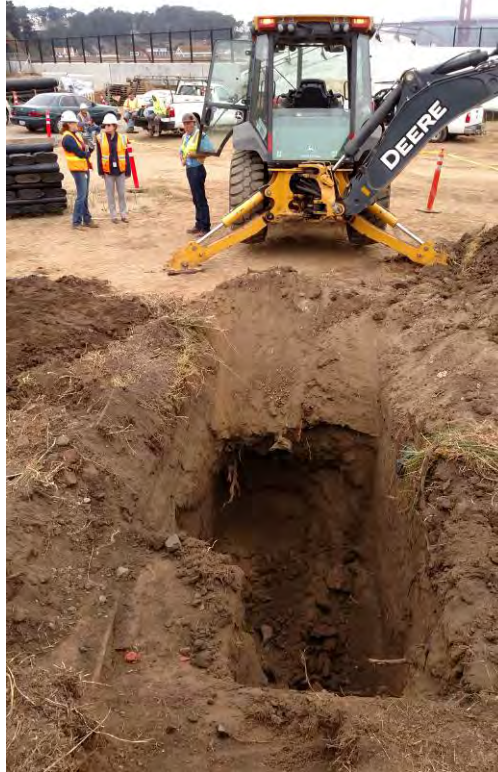
Photographer: C. Peske, E. Reese

Photograph Date: August 2016

Photograph No. 3190-01_18

Direction: Northwest

Description: Trench 8
overview.



Photograph No. 3190-01_17

Direction: Northeast

Description: Trench 8,
northeast wall profile.



APPENDIX B: CATALOG (DIGITAL)

**ARCHAEOLOGICAL MANAGEMENT ASSESSMENT
BUILDING 105 REHABILITATION**

Prepared by

Juliana Fernandez
Presidio Archaeology Lab
Presidio Trust

Prepared for

Rob Wallace
Associate Director of Design
Presidio Trust

October 2016

ARCHAEOLOGICAL MANAGEMENT ASSESSMENT: BUILDING 105 REHABILITATION

I. BACKGROUND

In accordance with Stipulation XII Archaeology of the “Programmatic Agreement Among The Presidio Trust, National Park Service, The Advisory Council On Historic Preservation, And The California State Historic Preservation Officer Regarding The Presidio Of San Francisco, Golden Gate National Recreation Area,” the management of archaeological properties shall be handled in accordance with the terms of an Archaeological Management Assessment and Monitoring Program (AMA/MP) that is prepared for individual undertakings or groups of related undertakings.

II. PROJECT DESCRIPTION

The rehabilitation of Building 105, an historic barracks building and contributing element of the Presidio NHL, will include hazardous materials abatement; removal of non-historic interior partitions; new mechanical, electrical and plumbing systems; new fire protection systems; seismic reinforcement; new interior partitions; restoration of the dual historic stairs; window, porch and masonry repairs; an in-kind roof replacement; new acoustic upgrades; new and restored interior finishes; exterior repairs, and ADA improvements as well as landscaping around the building.

III. ARCHAEOLOGICAL CONTEXT

The Presidio of San Francisco was found to be of national significance and designated a National Historic Landmark in 1962. The Presidio’s Landmark status was updated in 1993 to include many historic properties from the U.S. Army-occupation period and was expanded to become a National Historic Landmark District (NHL) (Alley et al. 1993). The 1993 NHL update identified 51 historic-era archaeological resources as contributing elements to the District. The period of significance for historic-era archaeological resources within the Presidio NHL was determined to be primarily from 1776 to 1890, although it was also recognized that under certain circumstances the period of significance could extend to 1917. Features post-dating 1890 were considered to have progressively less potential for significance due to the increased historical documentation available to supply information about the Presidio and its inhabitants. The Presidio Archaeology Lab is completing an update of the NHL documentation, which is currently in draft form (Presidio Trust n.d.). This AMA incorporates the new background research and updated GIS-based mapping generated by the draft update. Feature naming and numbering conventions, however, follow the 1993 NHL documentation.

Three predicted archaeological areas of the Presidio NHL are within the proposed project area- the Spanish and Mexican Cemetery, Laundresses’ Row and Stream Ravine Dump. In addition to these areas, discrete caches of historical materials are known to be present in the roof and attic of the building. Portions of the project area are also sensitive for buried prehistoric archaeological materials.

Contributing Elements of the Presidio NHL

PHAF #2: Spanish / Mexican Cemetery

The Spanish and Mexican Cemetery was established by the Spanish during the initial occupation of the Presidio and was used during both the Spanish and Mexican periods of control. Presumably, individuals of Spanish, Mexican and Native American descent would have been interred there. The Spanish/Mexican cemetery was extant at the time of the takeover by the U.S. Army but it is not known if it continued to be used as a cemetery. It is probable that American interments were placed at the Old Post Cemetery, which was established after the transfer of the Presidio to the U.S.

The Spanish/Mexican Cemetery archaeological area is *predicted* based on historic maps and historical documentary evidence. It is located just north of the Laundresses' Row on the 1870 Surgeon General's Map of the Presidio and on the 1871 Jacobson map but is no longer represented on the 1880 Plan of the Post. A 1955 letter from the quartermaster officer in charge of the National Cemetery states that the remains of 230 individuals of Spanish and Mexican descent had been moved historically from other parts of the post to the National Cemetery, but the historical documentary source for this assertion was not referenced. A post Civil-War era document casts some doubt on this twentieth century quartermaster officer's assertion. In an 1866 letter, Lieutenant G. Ramsay advised that moving over 200 individuals from the Spanish/Mexican cemetery was too onerous of an undertaking. No further historical documentary evidence regarding the labor-intensive and complex tasking of moving the burials has surfaced. By 1880, however, historical maps no longer show the Spanish/ Mexican cemetery. If the burials were indeed moved, historical maps suggest this was done between 1871 and 1880. Currently, the Spanish/Mexican Cemetery is *predicted* to be directly underneath Building 105 and its front yard and back courtyard.

Significance: NHL/NRHP Criteria: 1/A Events and Broad Patterns of Events; 6/D Information Potential

Period of Significance: 1776-1846 Colonial Establishment, Expansion and Fortification, Mexican War of Independence, Mexican Presidio, Abandonment, Early U.S. Occupation

The design and landscaping of the Spanish/Mexican cemetery has the potential to document how living conditions and ways of life (and death) at the Presidio were affected by its institutional character. Although the Presidio Archaeology Lab does not pursue research that requires the excavation of human remains, the Spanish/Mexican Cemetery is significant not only for its layout and design but also for the human burials it contains. The study of human remains has the potential to contribute information about demography, health, disease, trauma, and dietary patterns during the first seventy years of occupation of *El Presidio*. It may also provide data to assess the structure and development of Native American involvement with the Spanish colonial/Mexican Presidio and could document aspects of the lives and experiences of poorly understood groups and the impact of working conditions on them. Finally, it could be possible to address whether the cemetery was used during the American occupation or not. If so, similar research questions could also be addressed for the American military population.

Integrity: Unknown

The integrity of any of the features associated with the Spanish and Mexican Cemetery has not been tested. Because some of the graves may have been removed and reinterred, the human remains, associated funerary objects and landscape and design features of the cemetery are expected to retain a low to moderate measure of physical integrity. Additionally, the construction of Building 105 in the late

nineteenth century probably impacted a considerable portion of any remaining cemetery elements. Subsequent utility construction may have taken a further toll on the physical integrity of the area.

PHAF #18 Laundresses' Row

Laundresses' Row was located on the Main Post just west of the former seasonal stream on what is currently Montgomery Street. A laundress was an official position in the military during the 19th century when four laundresses were authorized for each company. Duties of the laundresses included, but were not limited to, cleaning linens, nursing the sick or wounded, housekeeping, and sewing. In exchange for their work, each laundress received food rations, bed straw, medical care, and monetary payment. Nine wood frame structures were erected in the 1860's for the use of the laundresses; these appear on the 1870, 1871 and 1880 maps. In 1883, the nine structures became the Married Enlisted Men's Quarters when the position of laundress was eliminated from the military. While the official function of the buildings changed, the occupants likely remained quite similar as the laundresses were often married to soldiers. Mentions of laundresses at the Presidio continue as late as 1890.

Significance: NHL/NRHP Criteria: 1/A Events and Broad Patterns of Events -- Indian Wars, Post Improvement; 6/D Information Potential

Laundresses' Row has the potential to document the lives and experiences of poorly understood groups (women within a military context in the 19th century). In particular, the potential for comparisons with the Laundresses' Quarters near Fort Point, make them especially significant. Further, because married couples often lived in these structures, the property can provide valuable information regarding the dynamics of gender interaction within households. Laundresses' Row affords an opportunity to examine a military fort in the 19th century using theoretical approaches including feminist theory, for example, to challenge the androcentric framework through which military archaeological sites are often studied.

Integrity: Good

Previous archaeological investigations indicate that features associated with Laundresses' Row retain a high degree of integrity. Construction of the late-nineteenth century Montgomery Street Barracks (with basements) has probably destroyed much of the evidence of the original wood framed buildings. It is possible, however, that remnant sections may survive. Five undisturbed privies that retained a high degree of integrity were encountered during archaeological investigation for the Taylor Street Privies Project in 2005 (Bartoy 2006; Blind and Bartoy 2006; Clevenger and Blind 2007). Excavation of these privies yielded over 60,000 artifacts relating to domestic activities associated with the laundresses. This suggests other features may also retain their integrity. Predicted features associated with the Laundresses' Row will be located in the Main Post, west of both the Parade Ground in the vicinity of the Montgomery Street Barracks and Taylor Road, and the Stream Ravine Dump Area that was filled at the turn of the 20th Century. Sheet refuse deposits with trash relating to domestic occupations are also likely to be associated with the structures. Fenced yards, represented on historic maps, have the potential to include features associated with outside work.

PHAF #20: Stream Ravine Dump

The Stream Ravine Dump archaeological area is *predicted* based on the presence of a stream ravine that once bisected the Main Post. Given trash disposal practices of the 19th Century, it is likely that trash was deposited in the stream ravine to be washed away, preventing trash buildup on the post. Additionally,

because the Presidio needed to provide space not only for military activities but also domestic work, the Stream Ravine Dump Area would have been employed for such outdoor household activities. Work carried out in the Stream Ravine may have included washing clothes or food preparation. The deposits associated with these activities are not expected to be uniformly distributed across the Stream Ravine Dump archaeological area. Instead, localized deposits and features are expected.

The location of the Stream Ravine Dump area is predicted from historic maps that depict the course of the stream ravine before it was filled by the Army around 1890. The ravine was on the west side of the Old Parade and contained one of two streams that ran in close proximity to *El Presidio*. Both streams flowed from the southern hills to the north and drained into a salt marsh north of the Main Post. Historical maps indicate that company kitchens, the sutlery and laundresses' housing were next to the stream ravine. The stream was likely used throughout the life of the fort by the Spanish, Mexican and American occupants until it was filled circa 1890.

Significance: NHL/NRHP Criteria: 6/D Information Potential

Period of Significance: 1776-1897 Colonial Establishment, Expansion and Fortification, Mexican War of Independence, Mexican Presidio, Abandonment, Early US Occupation, Civil War, Indian Wars , and Post Improvement

The Stream Ravine Dump archaeological area has excellent potential for examining the material culture of the Spanish-Colonial, Mexican and American occupations. Specifically, the material may be used for assessing the structure and development of Native American involvement with the Spanish colonial/Mexican Presidio, investigating the role of material culture and consumerism in the contexts of military institutions, and understanding the transition to industrial capitalism. If intact domestic features are present, there is also the potential for documenting working conditions and soldiers'/civilian employees' use of space, obtaining data for reconstruction of historic foodways and dietary patterns and documenting the lives and experiences of poorly understood groups. Taken together, the larger deposit and the features have the potential to provide data for reconstructing plant succession and environmental change in the Presidio.

Integrity: Unknown

The Stream Ravine Dump Area was substantially filled to create a level surface circa 1890. This capping of the deposit may have preserved the archaeological features, including work spaces, midden and sheet refuse deposits. The Stream Ravine Dump Area is currently covered by an asphalt parking lot. Geological tests in conjunction with modern construction projects confirm the likelihood of cultural materials present in the Stream Ravine Dump Area (Kaijankoski 2008). Before the ravine was filled, flowing water would have washed away lighter elements of the refuse while leaving the heavier items. Because of this, the stream bed is not expected to be an undisturbed midden but a moderately intact historic trash dump. Because of the nature of filling in the ravine to make it level ground, the depth of the predicted cultural deposit varies across the area. On the edges of the ravine, where work activities may have taken place, the fill is thinner and features could be located at relatively shallow depths. These deposits also have greater potential to have been disturbed by more recent historical activities including utilities and other infrastructure. Fill increases toward the middle of the ravine, which was packed with up to 25 feet of material to create the flat Main Parade surface. In this area, archaeological deposits will be deeply buried and are expected to retain a high degree of integrity.

Other Potential Archaeological Resources

The front yard of Building 105 has been identified as an area that has a low to moderate sensitivity for prehistoric archaeological resources. These resources could include evidence of prehistoric occupation or use of the area such as stone tools, shell, animal bones, midden, and other features and may be deeply buried.

Additionally, interior gutting and rehab of Building 104, another Montgomery Street Barracks building, revealed discrete caches of historic materials in the roof and attic that date to the first half of the twentieth century. The materials encountered retained a high degree of integrity and included personal items for grooming and hygiene as well as contraband. Examples of recovered items include paper, textiles, cigarette butts, liquor bottles, candy wrappers, shoe polish, rags, and shoes (Jones 2015). Such materials are considered potentially significant cultural resources that could contribute to the NHL. Similar historic materials are known to be located within the eaves of Building 105, however their degree of integrity is unknown. Sampling of the eaves will further identify some of these materials and assess their degree of integrity.

IV. ASSESSMENT

The Building 105 Rehabilitation Project is in the design development phase. All references to planned work in this AMA are referenced to the civil drawings submittal dated 09/01/2016. Excavation will be necessary to install new utilities, landscaping, pathways, lighting, and irrigation. This proposed excavation should be designed to minimize ground disturbance within the archaeological areas identified in this AMA. This should be accomplished by reusing existing utility corridors where feasible and vertically locating all infrastructure above the expected depth of archaeological resources. Considerable design effort has already been expended to meet these requirements. An overlay diagram of the Building 105 footprint along with previously disturbed excavation areas, existing utility trenches, and predicted location of the Spanish/Mexican Cemetery is included at the end of this AMA for reference.

Each predicted archaeological area is discussed below and an assessment of specific design constraints and mitigation measures is provided.

The Spanish and Mexican Cemetery should be **avoided** during ground disturbing activities. While portions of the cemetery are expected to be buried under Montgomery Street and others partially destroyed by Building 105, subsurface testing would be necessary to determine the depth of the deposit in the project area. Because the Presidio Archaeology Lab does not pursue research that requires the excavation of human remains and non-invasive testing techniques are both cost-prohibitive and generally inconclusive, every effort should be made to redesign the project to either keep improvements shallow (within predicted fill episodes) or to eliminate any proposed deep work in the area.

Previous archaeological monitoring of deep ground disturbance for Disney Taylor Road Laterals project (Streich 2009) at the adjacent Building 104 have revealed that at least three feet of historical fill is present over the area. This conforms with the prediction of the Presidio Elevation Change Model (Blind and Barnaal 2008) that fill was imported on top of the Spanish and Mexican Cemetery area. As such, if utilities and improvements need to be placed within the areal extents of the cemetery, they should be confined to the upper three feet below current ground surface. An archaeological monitor from the Presidio Trust should be present during any ground disturbing activities within the Spanish and Mexican

Cemetery to ensure that cultural resources are not impacted and to confirm and record depths of historical fill.

Remains of privies (outhouses) associated with Laundresses' Row have previously been found within the Taylor Road corridor at shallow depths. Additional features and potential outbuildings of the Laundresses' Row archaeological area may remain buried within the area. While identification efforts and previous monitoring have found little additional evidence of the resource outside of Taylor Road, ground disturbing activities within and adjacent to the predicted extents of the Laundresses' Row archaeological area should be limited to the upper three feet below current ground surface. All activities should be monitored by a qualified Presidio Trust archaeologist to ensure that there are no impacts to the resource.

The Stream Ravine Dump archaeological area is expected to be deeply buried by up to 25 feet of fill in the middle portion of the Main Parade Ground but the fill becomes shallow as it moves west into the front yards of the Montgomery Street Barracks. Even relatively shallow excavation, therefore, has the potential to impact this resource, therefore all ground disturbing activities should remain within the upper three feet layer of historical fill. Because the Stream Ravine Dump area is predicted, has not been adequately identified, and is expected to be discontinuous and localized across the project area, a Presidio Trust archaeologist should be present during construction work in the front yard of Building 105 to ensure all cultural resources are recorded and protected.

Prehistoric archaeological resources are predicted to be located in the front yard of Building 105. Although this area has been identified as a low to moderate sensitivity zone for prehistoric resources, these resources are expected to be buried by a series of historic fills. Since all groundbreaking activities should be confined to the upper three feet below current ground surface, there should be no adverse effect to prehistoric archaeological resources.

Initial inspection of the interior of Building 105 revealed historic object caches in the eaves of the attic similar to those discovered in Building 104. A total of 36 eaves were accessible from the interior, 34 of which contained objects such as glass bottles, clothing, paper, and cans. It is *predicted* that more historical objects are located within the eaves of the attic. Presidio Trust archaeologists will prepare a floor plan of the attic with the location of each eave before construction work in order to perform additional sampling of the eaves and to determine a strategy for recovering these objects. Roof replacement activities within Building 105 should be monitored by a Presidio Trust archaeologist to ensure proper documentation and acquisition of these objects. Once the eaves are exposed, the archaeologist will 'excavate' each eave as a separate context and keep the materials based on this provenience; the floor plan of the attic with the location of each eave will aid in accurately recording provenience of materials. All excavated items will be brought into the Presidio Archaeology Lab where they will be catalogued and stored. The recovery of these objects will require access from the outside of the building, and should be taken into account in the project scope and schedule.

Archaeological monitoring stipulated in this AMA should be conducted in accordance with an Archaeological Monitoring Plan (AMP). This document will be developed when final construction drawings are issued. All monitoring services will be provided by the Presidio Archaeology Lab.

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Bldg 105 Utilites Survey (07/2016)

Layer

- Builders Trench
- Abandond Metal Conduit
- Abandond Telecom
- Existing Rain Leaders
- Water Supply
- Spanish/Mexican Cemetery Extents

- LEGEND:
- ELECTRIC MANHOLE
 - ELECTRIC PULL BOX
 - ELECTRIC TRANSFORMER
 - CATCH BASIN
 - STORM DRAIN MANHOLE
 - STREET LIGHT
 - STREET LIGHT PULL BOX
 - TRAFFIC SIGNAL
 - SANITARY SEWER CLEAN OUT
 - SANITARY SEWER MANHOLE
 - TELEPHONE MANHOLE
 - TELEPHONE VAULT
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - BACKFLOW PREVENTOR
 - BOLLARD
 - PARKING METER
 - SIGN
 - CACTUS
 - TREE
 - ELECTRIC PAINT MARK
 - FIBER OPTIC PAINT MARK
 - SANITARY SEWER PAINT MARK
 - WATER PAINT MARK
 - GAS PAINT MARK
 - STORM DRAIN PAINT MARK
 - CONC. = CONCRETE
 - EL = ELEVATION
 - FF = FINISHED FLOOR
 - HCR = HANDICAP RAMP
 - HCA = HANDICAP ACCESS
 - GM = GAS METER
 - FR = FIRE LINE RISER TO ROOF

Map Title

REVISIONS	

0 10 20 40
Feet

CONTACT

PROJECT NO.

DATE | SCALE

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